

CITY OF DUNEDIN, FLORIDA
DEVELOPMENT REVIEW COMMITTEE MEETING
Regular Meeting of June 26, 2019
8:30 a.m. – 10:30 a.m.
AGENDA

- 8:30 – 9:00** **1. Internal discussion:**
- Set back encroachments that are having a negative impact on drainage (Russell/Bruce)
 - Dunedin Citizens' Academy 2019 (Lael)

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- 9:00 – 9:45** **2. Meet regarding Causeway Plaza – attendee:**
- Daniel Blignaut, developer

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- 9:45 – 10:30** **3. Meet regarding 2058 Bayshore Blvd – attendee:**
- Jay Gaughan, applicant

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PLEASE NOTE: *Meetings are mandatory*

-NEXT REGULAR MEETING-
Wednesday, July 17, 2019
8:30 a.m.

Project Info Sheet For Development Review Committee (DRC) Meeting
737 Louden Avenue, Dunedin, FL 34698
Contact: Lael Giebel, Project Coordinator: 727-298-2755

This meeting establishes among other things, the compatibility of the proposed development to the surrounding area and the natural environment; conformity to the land development code and the comprehensive plan; the health, safety and welfare of city residents; adequacy of existing facilities to serve the development; and the identification of procedural guidelines. The owner or authorized representative shall not in any way interpret the remarks or statements, expressed or implied, of the city departments or employees as being binding upon the city. **LDC 104-24.6.1**

****The owner/developer is strongly encouraged to attend this initial development meeting****

Project name and address: - Causeway Plaza 2602 Bayshore Blvd, Dunedin

Property Location Parcel ID: 15-28-15-23166-001-0002

Owner name: Walvekar FL Prop LLC

Owner Telephone: 727 421 3006

Applicant name: Daniel Blignaut

Applicant Telephone: 813 431 5712

Email: Aceconstructionfl@gmail.com

Gross Acres: 11.84 Acres

Current Zoning: [FX-M \(Form-Based Medium\)](#) Proposed Zoning: [FX-M \(Form-Based Medium\)](#)

Current Land Use: Unchanged Proposed Land Use: Unchanged

Current Use: Retail Proposed Use: Retail

Proposed Building(s) : New free standing 320 sf Ice Cream kiosk

Square Footage: 320 sf Project Value: \$85 000 Height: 19'- 6"

Plan details/questions: **The kios will be covering 6 existing parking bays, but several motorbike and bicycle parking spots will be provided on the east side of the kiosk**

All of the following documents should be submitted in an electronic format (.pdf or .jpeg), or provide 12 hard copies if larger than 11" x 17":

Basic Site Plan- The plan should include all of the following items:

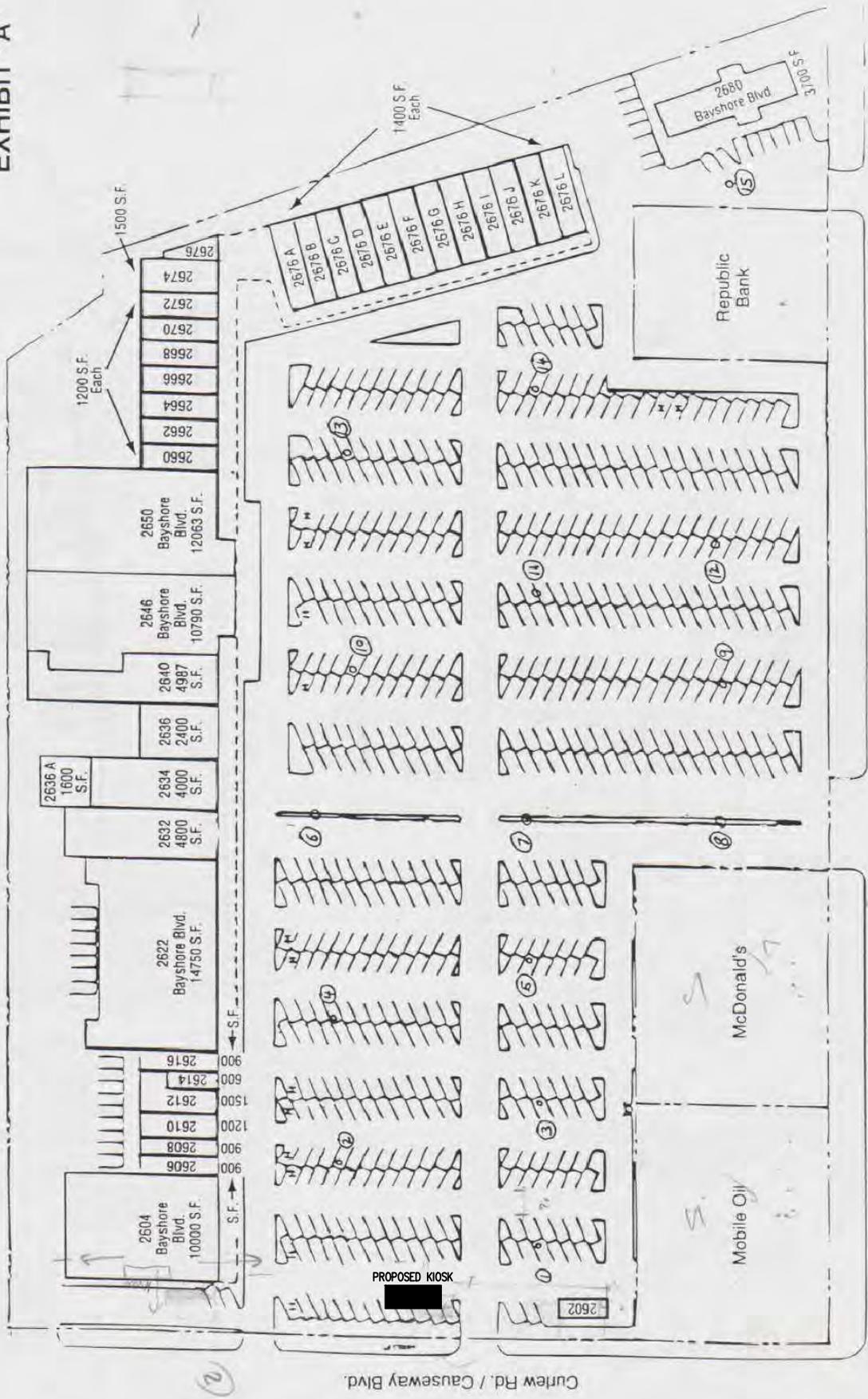
- Property size
- Building size by square footage of use, and building height
- Percentage of lot covered by building footprint
- Setbacks; front, rear, and side
- Number of parking spaces per use; required and provided
- Vicinity of map, date, north arrow, and scale

Architectural Rendering, If possible (color elevation renderings are preferred)

****At time of actual building plan submittal, all signage and tree removals require a separate plan, under a separate permit.**

CAUSEWAY PLAZA SHOPPING CENTER DUNEDIN, FLORIDA 34698

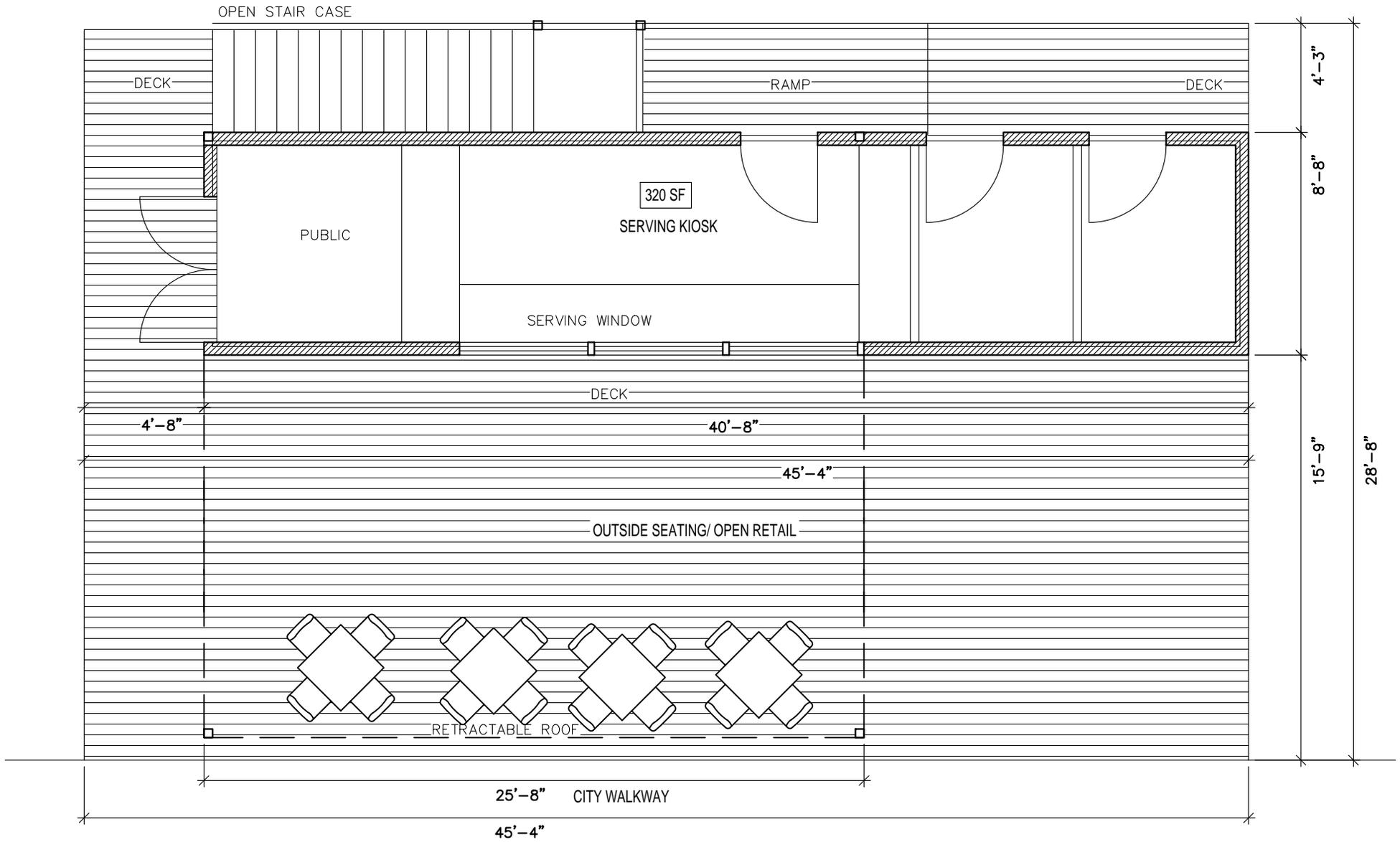
EXHIBIT "A"



SITE LAYOUT
SCALE N.T.S.

S0

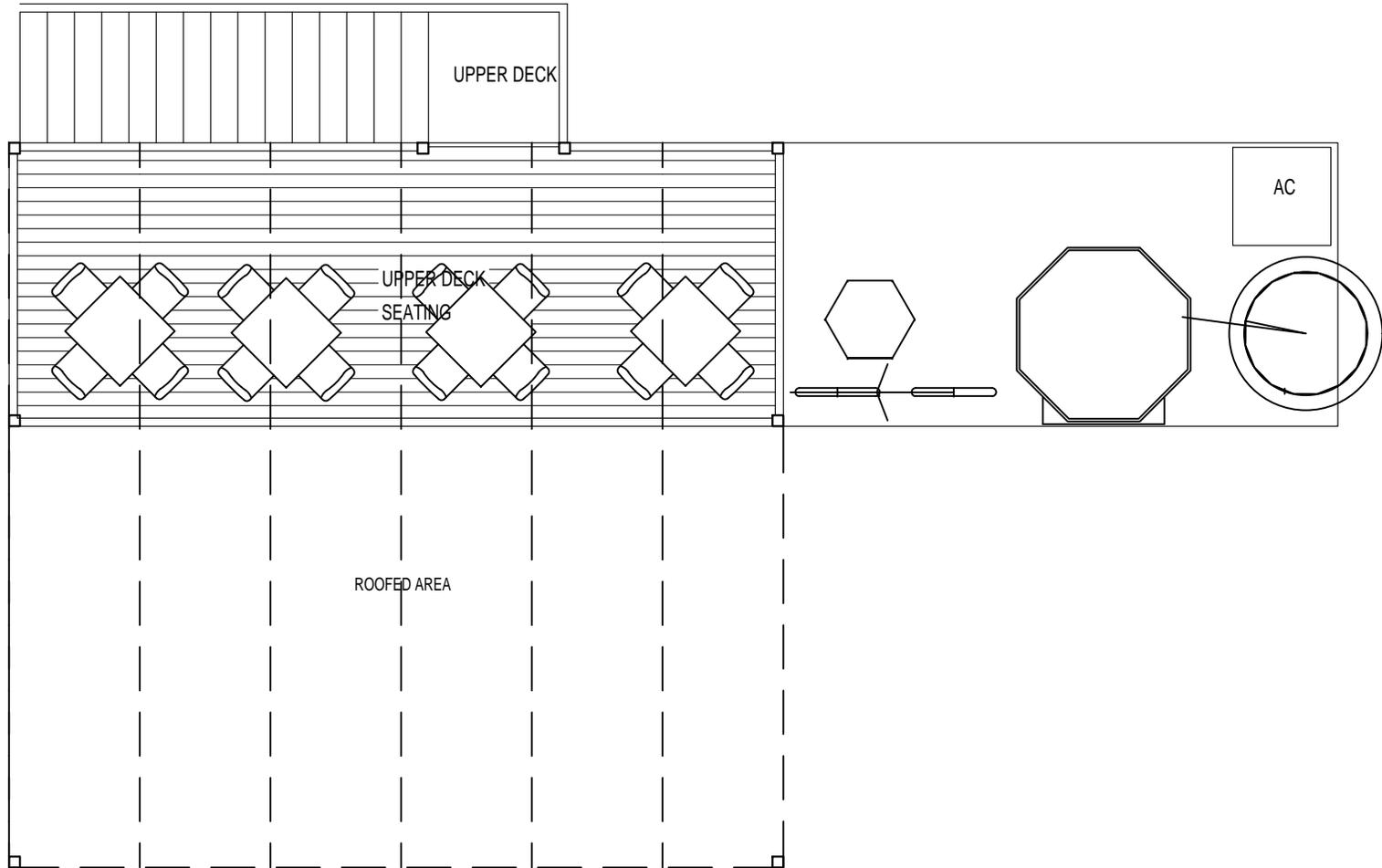
FUNTASTIC CREAMERY
CAUSEWAY CENTER



FUNTASTIC CREAMERY
CAUSEWAY CENTER

GROUND FLOOR PLAN
SCALE 3/16" : 1'

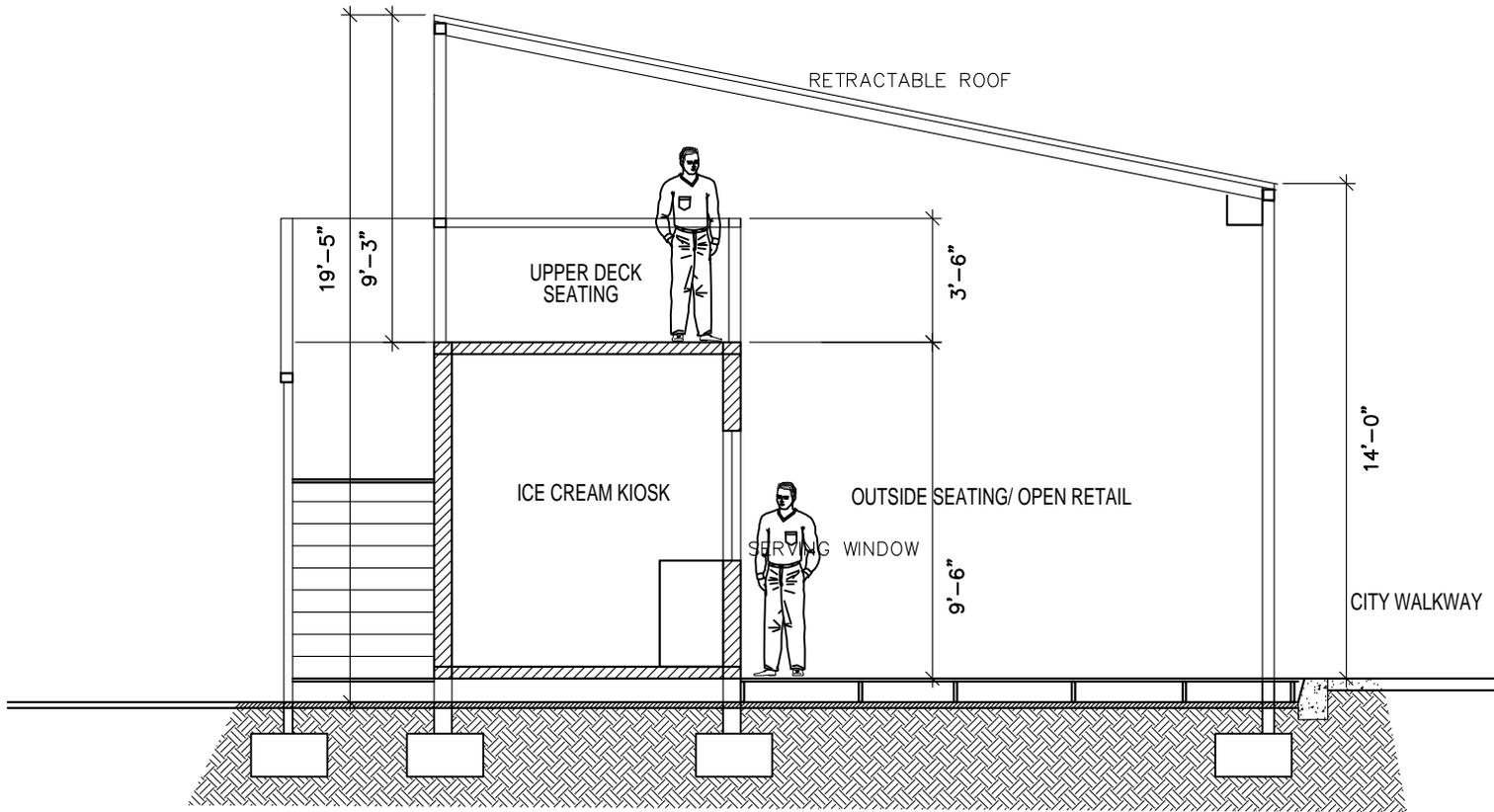
S1



FUNTASTIC CREAMERY
CAUSEWAY CENTER

SECOND FLOOR PLAN
SCALE 3/16" : 1'

S2



FUNTASTIC CREAMERY
CAUSEWAY CENTER

CROSS SECTION
SCALE 3/16" : 1'

S3



SITE PLAN
 SCALE 1/16" : 1'

S4

Measure distance
 Click on the map to add to your path
 Total distance: 48.88 ft (14.90 m)

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****The owner/developer is strongly encouraged to attend this initial development meeting****

Project name and address: Nano Brewery at 2058 Bayshore Blvd Unit #5

Property Location Parcel ID: _____

Owner name: Ed Proefke

Owner Telephone: 727-729-1473

Applicant name: Jerome E Gaughan III

Applicant Telephone: 203-232-1963

Email: jaygaughan@yaho.com

Gross Acres: _____

Current Zoning: FX-M Proposed Zoning: _____

Current Land Use: CG Proposed Land Use: _____

Current Use: _____ Proposed Use: _____

Proposed Building(s) : Nano Brewery at 2058 Bayshore Blvd

Square Footage: 1100 Project Value: _____ Height: _____

Plan details/questions: Proposal Attached

What requirements does the town of Dunedin want for opening a Nano Brewery at 2058 Bayshore Blvd _____

All of the following documents should be submitted in an electronic format (.pdf or .jpeg), or provide 12 hard copies if larger than 11" x 17":

Basic Site Plan- The plan should include all of the following items:

- Property size
- Building size by square footage of use, and building height
- Percentage of lot covered by building footprint
- Setbacks; front, rear, and side
- Number of parking spaces per use; required and provided
- Vicinity of map, date, north arrow, and scale

Architectural Rendering, If possible (color elevation renderings are preferred)

****At time of actual building plan submittal, all signage and tree removals require a separate plan, under a separate permit.**

Nano Brewery Proposal
2058 Bayshore Blvd. Unit 5
Dunedin, FL 34698

Proposal to create a Brewery at 2058 Bayshore Blvd Unit #5

My wife and I raised 4 beautiful children and after our last young adult moved out we headed south. We searched up and down both sides of Florida's coastline before finally finding Dunedin. Once we found Dunedin we both knew we found our new home. We moved here last May and absolutely LOVE our new community. I've been brewing beer at home for over 35 years while working in corporate America (I spent the last 28yrs working with Pitney Bowes). I love brewing so much I'm going to make it my job. I will be the Financer, Owner, Brewer, and Server of thee smallest brewery in Dunedin. My wife of 29 years will be there throughout the whole brewery set up process and she is ready to pour beer. In addition, we have built a circle of local friends that are ready to help us in any way they can.

I brew artesian small batch beers utilizing local and organic ingredients. The Brewing system will be a 3-vessel system. The pots will be 30 to 50 Gallon (Producing 20 to 30 gallons of beer) capacity with Electric heating elements and a transfer pump. Very small simple system with beer served only from kegs to customers. The small size of the Brewery dictates that I could never brew enough beer to distribute. No distribution will be involved while the brewery is at this location. If I plan to take this venture to the next level in the future it will be in a much larger building with a 15BBL 500K investment.

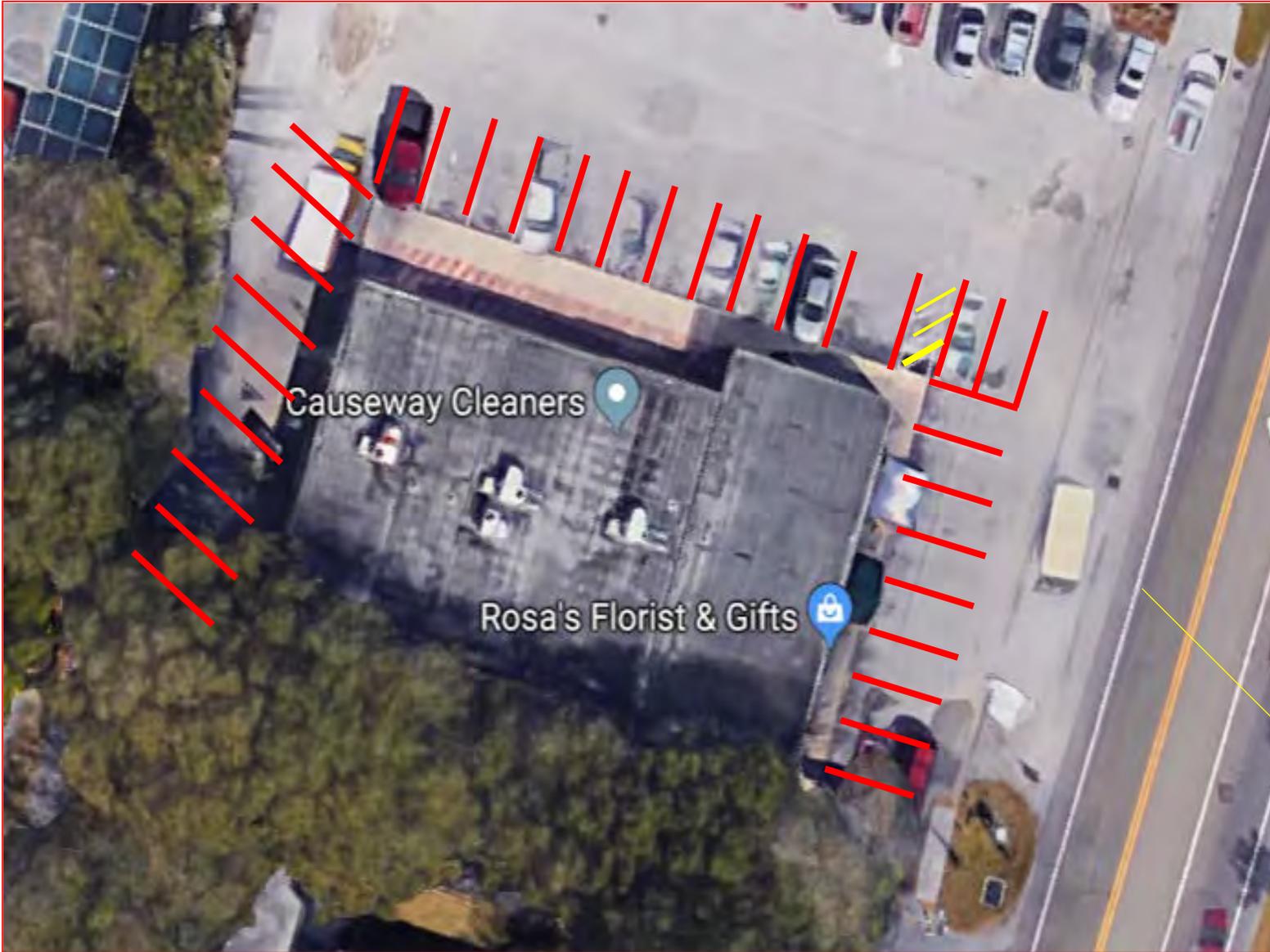
This Nano brewery will produce no wastewater from brewing besides the washing of the glasses. All spent grains will be given to locals for animal feed same as I do with my spent grains today. I will not use single use plastics or any other non-environmentally safe materials or processes that would lead to a larger ecological footprint.

This will be a small local neighborhood gathering spot for drinking hand crafted beers and socializing within our great community. I will do everything in my power to insure this will be a positive, community friendly small business like so many of the other great businesses in Dunedin.

The footprint of Unit #5 is wide open. It's a 23x48' room with a bathroom off to one side in the middle. Currently there is brand new rug over concrete for flooring. I will removed the rug and seal the concrete floor. I can setup the bar, brewing equipment, and tables in any configuration. I would like input from the Fire Marshall as to the floor plan before designing the room.

Overview of Parking





Parking Overview

Total of 29 Spaces

8 In Front

13 Along the side

8 In Rear

All Parking available after
5pm

Neighborhood Businesses

On the block of Bayshore Blvd between Michigan Blvd and Palm Blvd there are 11 Businesses. 4 out of the 11 underlined businesses listed below sell Beer and or Alcohol.

From Michigan Blvd north we have:

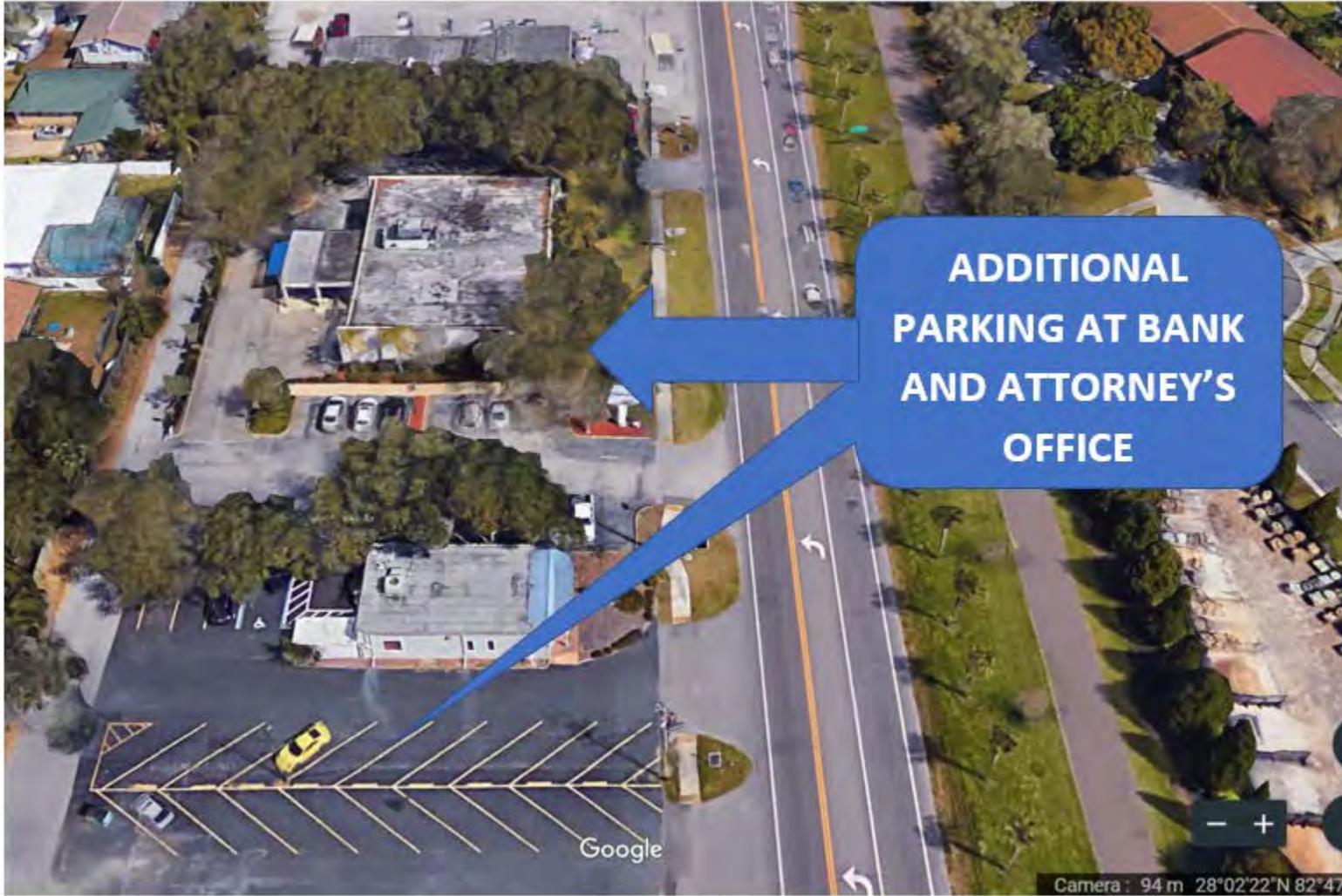
- St. Georges Gas Station
- El Huarache Azteca Mexican Restaurant
- Bambino Pizza
- Attorney Michael Mackenzie (Partner in Woodwright Brewery)
- First Citizen Bank
- 5028 which include a Spa, Pool Construction Co, Dry Cleaners, and a Florist. All close by 5PM on Weekdays
- Covered Bridge Restaurant
- Palm Court Motel

There are no Churches or Schools in the neighborhood. The rear of the building has a small One Way Street as well as a fence bordering the neighbors in back. There's a restaurant on one side and a Bank on the other. The front of the building is on Alt 19. The Bike path and then Housing borders the entire block across the street.

I have already introduced myself to each business owner on the block to see if anyone objected to having a brewery as a neighbor. Everyone was very nice and receptive. The 4 other businesses in 2058 Bayshore Blvd all thought a Brewery would be a perfect business to move in since it would not be open during their busiest working hours. I was very appreciative that all 4 business owners offered me use of their parking areas after hours. There are 8 parking spaces in front of the building. 13 along the side and 8 in back for a total of 29 Parking Spaces at 2058 Bayshore Blvd to use for my Brewery.

While introducing myself to my neighbor business I was told by Citizen Bank that they have no problem with my customers using their parking spaces when the bank is closed.

In addition, Attorney Michael Mackenzie which is the next neighbor after the bank also very generously offered to let me use his parking lot after 5pm as well. Being partners in one of Dunedin's great breweries he is well aware of parking issues.



**ADDITIONAL
PARKING AT BANK
AND ATTORNEY'S
OFFICE**