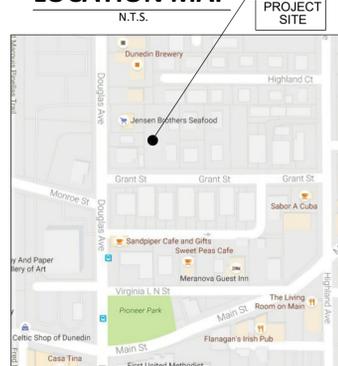


LOCATION MAP



SECTION 27, TOWNSHIP 28 , RANGE 15

DUNEDIN BED & BREAKFAST

418 Grant Street Dunedin, Florida 34683

FEMA MAP PANEL NO. 12103C-0059-C

FLOOD ZONE X PER MAP NO. 12103C0068G DATED 9-03-2003

ZONING DISTRICT-DC

F.D.E.P. 10-2 PERMIT PER (s. 403.814(12), F.S.)

IMPAIRED WATER BODY WBID NO. 1562 (MERCURY)

LPA SUBMITTAL SET 08-24-18

INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL/SOILS REPORT RECOMMENDATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS REPORT FROM THE OWNER/DEVELOPER/ENGINEER PRIOR TO ANY BID AND/OR CONSTRUCTION.

Prepared By:



SYNERGY Civil Engineering, Inc.
3000 Gulf to Bay Boulevard, Suite 201
Clearwater, FL 33759
Tel. (727)796-1926
Cell (727) 470-1344
www.synergycivileng.com

SYNERGY

Civil Engineering, Inc.

Prepared For:

Amera Court Developers, LLC

421 Grant Street
Dunedin, FL 34698-4976

Consultants

ARCHITECT

SDG Architecture / Shorelines Design Group

330793 San Christopher Dr. Suite D
Dunedin, FL 34698
Ph: (727) 736-5463
email: rod@sdgfl.com

SURVEYOR

Evans Land Surveying, Inc.

1460 Beltrrees Street Unit 9
Dunedin, FL 34698
Ph: (727) 734-3821
email:

LANDSCAPE ARCHITECT

Copley Design Associates, Inc.

12575 US 19 North
Clearwater, Florida 33764
Ph: (727) 767-2840
email: copleydesign@gmail.com

Index of Drawings

- C-1 COVER SHEET
- C-2 GENERAL NOTES AND SPECIFICATIONS
- C-3 DEMOLITION PLAN
- C-4 HORIZONTAL CONTROL PLAN
- C-5 GRADINGS & DRAINAGE PLAN
- C-6 UTILITY PLAN
- C-7 SECTIONS
- C-8 DETAILS
- C-9 DETAILS
- LS.1 LANDSCAPE DEVELOPMENT PLAN
- LS.2 GREEN SPACE PLAN
- LS.3 GENERAL NOTES AND DETAILS
- LS.4 GENERAL NOTES AND DETAILS
- LS.5 IRRIGATION DEVELOPMENT PLAN

Utility Companies

Duke Energy Florida
P.O. Box 14042
St. Petersburg, FL 33733
1-800-700-8744

Bright House Networks
700 Carillon Parkway, Suite 6
St. Petersburg, FL 33716

Water Utility Provider
City of Dunedin
PO Box 1348
Clearwater, FL 34697-1348
727-298-3100

Clearwater Gas System
400 North Myrtle Ave.
Clearwater, FL 33755
727-562-4900

Sanitary Sewer Provider
City of Dunedin
PO Box 1348
Clearwater, FL 34697-1348
727-298-3100

Verizon
1280 Cleveland St.
Clearwater, FL 33755
727-562-1101

Review Agencies

City of Dunedin
Engineering Department
PO Box 1348
Dunedin, FL 34697-1348

FDEP (10 / 2 Permit)
13051 Telecom Pkwy N
Temple Terrace, FL 33637-6759
(813) 632-7600

Title

COVER SHEET

Project No. **08-018-016** Scale: **AS NOTED** Date: **10-25-2017**

Drawing No. **C-1** Sheet: **1 of 14** Revision No. **0**

ZONING INFORMATION:

1. ZONING: DOWNTOWN CORE (DC)
FUTURE LAND-USE: (CRD)
PRESENT LAND-USE: VACANT / SINGLE FAMILY WITH DETACHED GARAGE APARTMENT
PROPOSED LAND-USE: BED & BREAKFAST INN
OVERLAY DISTRICT: N/A

2. PARKING CLACULATIONS:
TOTAL REQUIRED = 22 SPACES PLUS 2 OWNER SPACES
TOTAL PROPOSED= 22 SPACES ONSITE & 2 SPACES OFF SITE

3. SETBACKS:	REQUIRED (FT)	PROPOSED (FT)
FRONT (SOUTH)	0	14.5
SIDE (EAST)	0	17.88
SIDE (WEST)	0	7.5
REAR (NORTH)	0	5.71

5. SITE DATA TABLE (TOTAL PARCEL):

	EXIST(S.F.):	EXIST(AC.):	PROPOSED (S.F.):	PROPOSED (AC.)	ALLOWABLE (S.F.):
TOTAL LOT AREA:	19,291	0.44	19,291	0.44	N/A
BUILDING AREA:	0	0.00	10,890	0.25	
ASPHALT / CONCRETE:	0	0.00	4,792	0.11	
TOTAL IMPERVIOUS AREA:	0	0.00	15,682	0.36	N/A
TOTAL PERVIOUS AREA:	19,291	0.44	3,609	0.08	
HEIGHT:					
ISR:	0.00		0.81		
PERCENT IMPERVIOUS	0%		81%		
PERCENT PERVIOUS	100%		19%		

NOTES:

- THIS PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE " X " AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL # 12103C0108H, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, EFFECTIVE: MAY 17, 2005
- THERE ARE NO ENVIRONMENTALLY UNIQUE AREAS ON SITE.
- ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY SHALL BE SODDED AND/OR PLANTED. A R-O-W USE PERMIT WILL BE REQUIRED FOR LANDSCAPING AND ALL OTHER IMPROVEMENTS WITHIN R-O-W.
- SOLID WASTE WILL BE PROVIDED BY A ROLE-OUT CONTAINER.
- PEDESTRIAN SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DUNEDIN'S REQUIREMENTS AND STANDARDS. ALL PROPOSED SIDEWALKS SHALL NOT EXCEED A CROSS SLOPE OF 2%.
- GUTTERS, DOWNSPOUTS, UTILITY BOXES, AND OTHER MISC. SITE FIXTURES WILL BE PAINTED, SCREENED, OR OTHERWISE CONCEALED, OR BLENDED IN BUILDING ARCHITECTURE.
- ALL UNUSED DRIVEWAYS MUST BE REMOVED AND REPLACED WITH CURB, SIDEWALK, AND LANDSCAPING TO MATCH EXISTING CONDITIONS OR BETTER.
- CONCRETE URBAN FLARE DRIVEWAYS SHALL CONSTRUCTED WITH 6" THICK W/ 6"X6"/10X10 WELDED WIRE FABRIC REINFORCEMENT.
- CONCRETE SIDEWALKS AND URBAN FLARES SHALL HAVE A MINIMUM OF 3,000 PSI @ 28 DAYS WITH FIBER MESH REINFORCEMENT.



VERTICAL DATUM:

PREPARED BY: **Evans Land Surveying, Inc.**

BENCH MARK: ELEVATIONS SHOWN BASED ON PINELLAS COUNTY BENCH MARK "GRAY 0". NATIONAL GEODETIC SURVEY PUBLISHED ELEVATION= 13.93'. (NORTH AMERICAN VERTICAL DATUM OF 1988)

HORIZONTAL CONTROL: (SEE SURVEY MAP PREPARED BY **Evans Land Surveying, Inc.**)

GOVERNING STANDARDS AND SPECIFICATIONS: CITY OF DUNEDIN STANDARD DETAILS & SPECIFICATION DATED JUNE 2015.

FLORIDA DEPARTMENT OF TRANSPORTATION, DESIGN STANDARDS DATED JANUARY 2018, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JANUARY 2018.

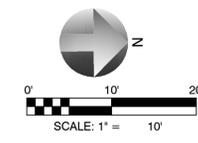
Conceptual Review Site Plan-Preliminary concept plans contain the following information:

- Property size, including dimensions
- Building size by square footage of use
- Percentage of lot covered by the building footprint, and impervious surface ratio
- Setbacks
- Number of parking spaces per use, required and provided
- Vicinity map, date, north arrow, and scale
- Street access to site, including width of proposed driveways, street names, intersections, centerline, and ultimate right-of-way dimensions
- Location of trash enclosures
- Additional information as may be required by city staff to review

Greenspace Plan-The greenspace plan includes the following items:

- General plant palette, quantities, size and spacing
- Total amount of open space
- Percentage of site landscaped
- Percentage of parking area landscaped
- Width of perimeter landscape buffers

REVISED:



RAINSTORM3 ATTENUATION VOLUME CALCULATIONS

NO. OF UNITS	NO. OF UNITS	NO. OF UNITS	NO. OF UNITS	VOL./UNIT	TOTAL VOLUME
(Length)	(Width)	(Depth)	(Total)	(Cu.Ft.)	(Cu.Ft.)
56	2	7	784	3.531	2768
DIST					TOTAL VOLUME= 2768

Copyright 2007

THESE PLANS MAY NOT BE COPIED AND/OR MODIFIED WITHOUT WRITTEN PERMISSION FROM SYNERGY CIVIL ENGINEERING, INC. © COPYRIGHT 2007.

Consultants

ARCHITECT
SDG Architecture / Shorelines Design Group
330793 San Christopher Dr. Suite D
Dunedin, FL 34698
Ph: (727) 736-5463
email: rod@sdgff.com

SURVEYOR
Evans Land Surveying, Inc.
1460 Beltrees Street Unit 9
Dunedin, FL 34681
Ph: (727) 734-3821
email:

LANDSCAPE ARCHITECT
Copley Design Associates, Inc.
1275 US 19 North
Clearwater, Florida 33764
Ph: (727) 787-2840
email: copleydesign@gmail.com

Notes:

- NOT ISSUED FOR CONSTRUCTION**

MICHAEL J. PALMER, STATE OF FLORIDA, PROFESSIONAL ENGINEER LICENSE NO. 63743
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL J. PALMER, P.E.
USING A SHA-1 AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Revisions:

By	Appd.	Date
▲ CITY OF DUNEDIN (DRC)	MJP	MJP 08-24-18
▲		
▲		
▲		
▲		
▲		
▲		
▲		

Submitted:

By	Appd.	Date
1)		
2)		
3)		
4)		
5)		
6)		

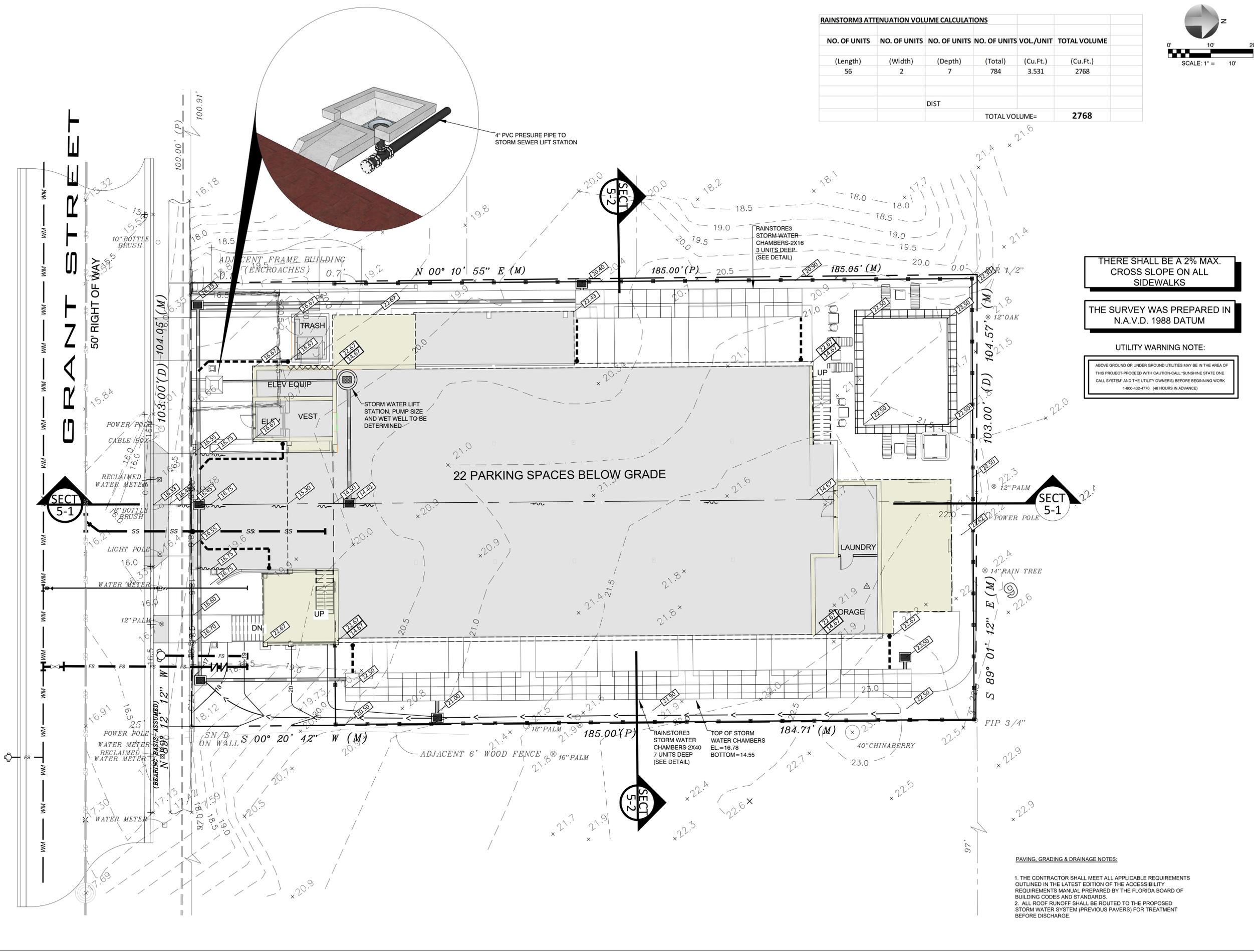
Seal: THESE PLANS MAY NOT BE COPIED AND/OR MODIFIED WITHOUT WRITTEN PERMISSION FROM SYNERGY CIVIL ENGINEERING, INC. © COPYRIGHT 2007.

MICHAEL J. PALMER, P.E. LIC. NO. 63743
NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER
SYNERGY CIVIL ENGINEERING, INC.
CERTIFICATE OF AUTHORIZATION No. 27692

Project / Client:
Amera Court Developers, LLC
421 Grant Street
Dunedin, FL 34698-4976

Title:
GRADING PLAN

Project No.	Scale:	Date:
05-026-016	AS NOTED	10-25-2017
Drawing No.	Sheet	Revision No.
C-05	5 of 14	0



THERE SHALL BE A 2% MAX. CROSS SLOPE ON ALL SIDEWALKS

THE SURVEY WAS PREPARED IN N.A.V.D. 1988 DATUM

UTILITY WARNING NOTE:
ABOVE GROUND OR UNDER GROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT-PROCEED WITH CAUTION-CALL 'BURSHIRE STATE ONE CALL SYSTEM' AND THE UTILITY OWNERS, BEFORE BEGINNING WORK 1-800-432-4770 (48 HOURS IN ADVANCE)

PAVING, GRADING & DRAINAGE NOTES:

- THE CONTRACTOR SHALL MEET ALL APPLICABLE REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE ACCESSIBILITY REQUIREMENTS MANUAL PREPARED BY THE FLORIDA BOARD OF BUILDING CODES AND STANDARDS.
- ALL ROOF RUNOFF SHALL BE ROUTED TO THE PROPOSED STORM WATER SYSTEM (PREVIOUS PAVERS) FOR TREATMENT BEFORE DISCHARGE.

- NOT ISSUED FOR CONSTRUCTION

MICHAEL J. PALMER STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 63743
 THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL J. PALMER, P.E.
 USING A SHA-1 AUTHENTICATION CODE
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Revisions:	By	Appd.	Date
1	CITY OF DUNEDIN (DRC)	MJP	08-24-18
2			
3			
4			
5			
6			
7			
8			
9			
10			

Submitted:	By	Appd.	Date
1			
2			
3			
4			
5			
6			

Seal: THESE PLANS MAY NOT BE COPIED AND/OR MODIFIED WITHOUT WRITTEN PERMISSION FROM SYNERGY CIVIL ENGINEERING, INC. © COPYRIGHT 2007.

MICHAEL J. PALMER, P.E. LIC. NO. 63743
 NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER
 SYNERGY CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION No. 27692

Project / Client:

Amera Court Developers, LLC
 421 Grant Street
 Dunedin, FL 34698-4976

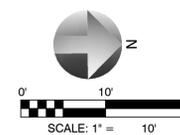
Title

UTILITY PLAN

Project No.	Scale:	Date:
05-026-016	AS NOTED	10-25-2017
Drawing No.	Sheet	Revision No.
C-06	6 of 14	0

CITY OF DUNEDIN NOTES

- Hydrostatic testing of the underground system at 200 psi for two hours and witnessed by the local AHJ (requires 24hr notice);
- Restrained joints to be installed on all fittings, valves, caps and plugs plus on all 90 degree bends, tees, etc use poured in place or cement precast thrust blocks at the appropriate locations.
- Fourteen gauge locator U.S.E wire with blue protective insulation shall be installed directly on top of all water and fire mains with terminal ends brought up in the valve boxes at the cover.



UTILITY LEGEND

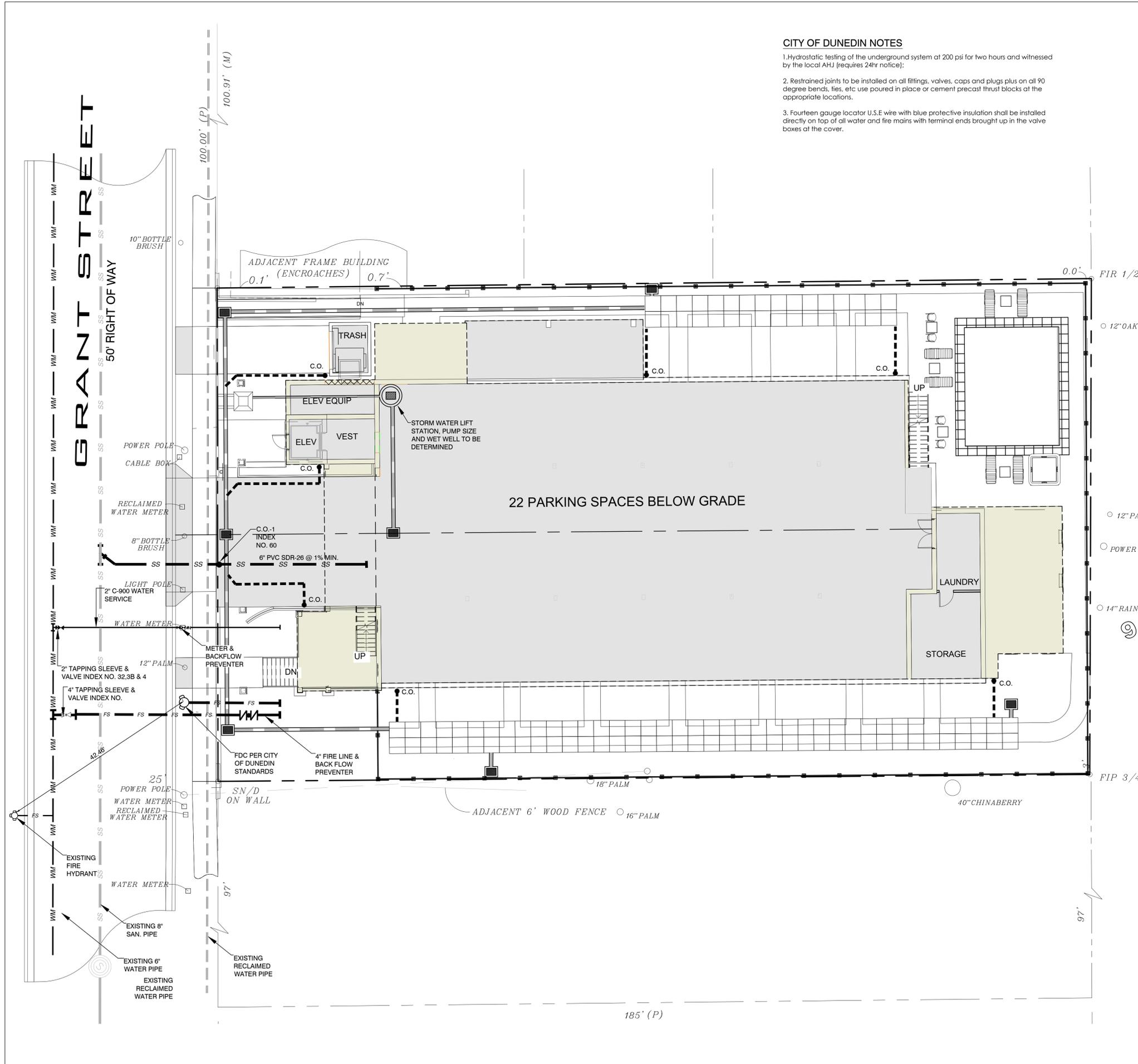
- SS PROPOSED SANITARY LINE
- WM PROPOSED WATER LINE
- PROPOSED CLEANOUT - CO
- ⊗ PROPOSED WATER LINE TEST POINT
- ⊕ PROPOSED GATE VALVE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED WATER METER & BACKFLOW PREVENTER
- ⊕ PROPOSED RECLAIMED WATER METER
- ⊕ PROPOSED DDVCA
- WL WATER LINE
- TREE DRIPLINE
- FIRE DEPARTMENT CONNECTION (FDC)
- ⊕ PROPOSED DRAINAGE INLET
- PROPOSED CURB
- - - ENTRANCE CONOPY AREA
- BUILDING COLUMN
- - - PVC PIPES (ROOF DRAINS/HEADER & UNDERDRAINS)
- - - REINFORCED CONCRETE PIPES (RCP)
- 10 % VUA LANDSCAPE
- C.O. CLEANOUT

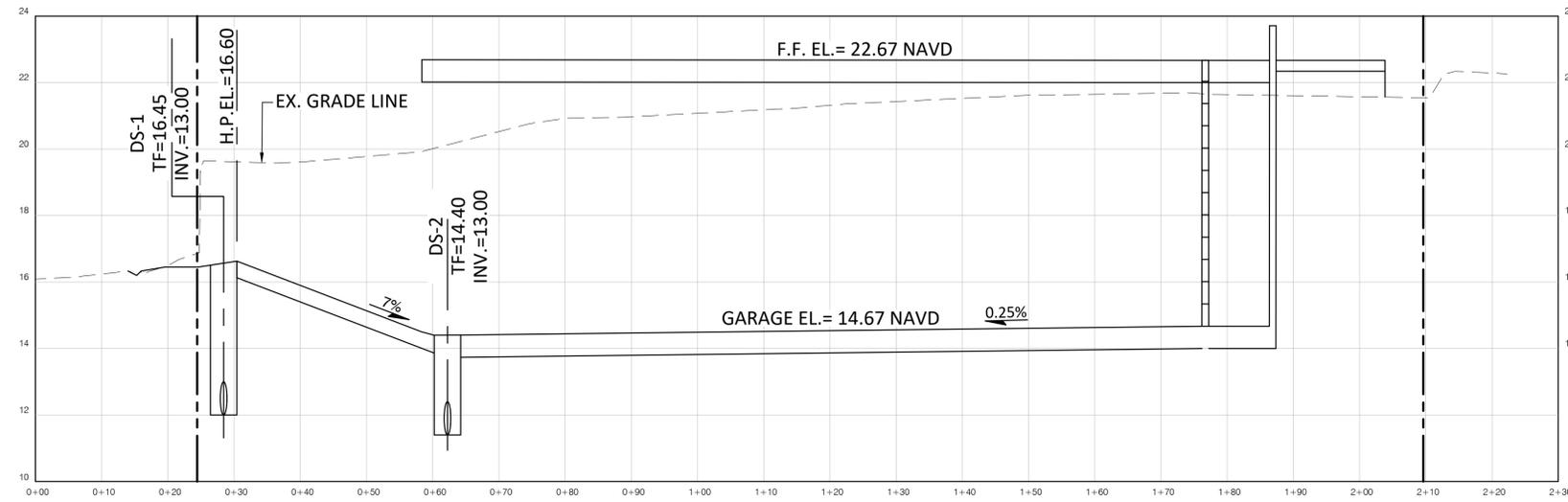
GENERAL NOTES

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. UTILITIES HAVE BEEN OBTAINED FROM THE CITY OF DUNEDIN'S UTILITY ATLAS.
- POTABLE WATER & FIRE SERVICE SHALL BE PROVIDED BY: THE CITY OF DUNEDIN.
- SANITARY SERVICE SHALL BE PROVIDED BY: THE CITY OF DUNEDIN.
- CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
- SEE SITE BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL UTILITY NOTES.
- INFORMATION DEPICTED REGARDING EXISTING UTILITIES IS APPROXIMATE AND IS NOT FIELD VERIFIED. PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR WILL FIELD LOCATE & VERIFY EXISTING UTILITIES e.g. TYPE OF UTILITY, INVERT, CONDUIT MATERIAL ETC. AND CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES AND/OR CONFLICTS.
- UNDERGROUND WATERMAINS SHALL BE INSTALLED, AND COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION AS PER NFPA 241.
- CONTRACTOR SHALL INSTALL FIRE SERVICE LINE FROM TAPPING SLEEVE & VALVE TO THE LOCATION OF BACKFLOW PREVENTER AND FROM DEVICE TO BLDG.
- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE INSTALLED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION AS PER NFPA 24 FIRE DEPARTMENT CONNECTIONS SHALL BE IDENTIFIED BY A SIGN THAT STATES: (SEE DETAIL SHEET)
- "NO PARKING, FIRE DEPARTMENT CONNECTION" SIGNS SHALL BE DESIGNED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS FOR INFORMATION SIGNAGE AND BE MAINTAINED WITH A CLEARANCE OF 7 1/2 FEET IN FRONT OF AND TO SIDE OF APPLIANCE, AS PER FLORIDA FIRE PREVENTION CODE, 2001 EDITION, MODIFICATION TO SECTION 3-5.6 OF NFPA FIRE HYDRANTS SHALL HAVE CLEARANCES OF 7 1/2' ON THE FRONT AND SIDES. (SEE DETAIL SHEET FOR ADDITIONAL NOTES)
- ALSO, WITH A 4 FT. CLEARANCE TO THE REAR OF THE HYDRANT PER NFPA 1, SEC. 3-5.6 15. CONTRACTOR SHALL COORDINATE RELOCATION OF POWER & LIGHT POLES WITH THE LOCAL UTILITY COMPANY. ALSO THERE SHALL BE A 2' HORIZONTAL CLEARANCE FROM THE EDGE OF SIDEWALK TO ANY VERTICAL STRUCTURES.
- IF THE PROPOSED PROJECT NECESSITATES INFRASTRUCTURE MODIFICATIONS TO SATISFY SITE-SPECIFIC WATER CAPACITY AND PRESSURE REQUIREMENTS AND/OR WASTEWATER CAPACITY REQUIREMENTS, THE MODIFICATIONS SHALL BE COMPLETED BY THE APPLICANT AND AT THEIR EXPENSE. IF UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE INSTALLED, THE INSTALLATION SHALL BE COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS.
- ALL FDC'S SHALL BE LOCATED WITHIN 100 FT. OF FIRE HYDRANT AND AT LEAST 15 FT. FROM THE FACE OF BLDG. FDC'S AND FHA'S SHALL BE LOCATED ON THE SAME SIDE OF THE ROAD.
- ALL FIRE LINES SHALL BE TESTED AT 200 PSI IN ACCORDANCE WITH NFPA 24.
- INSTALL THRUST BLOCKS AT ALL 45° AND 90° BENDS.
- DUCTILE IRON PIPE SHALL BE INSTALLED BETWEEN WATER MAIN (TAP) AND BACKFLOW PREVENTION DEVICE (B.F.P.D.).
- AT LEAST ONE JOINT OF DUCTILE IRON PIPE SHALL BE INSTALLED ON SERVICE SIDE OF B.F.P.D.
- THE CITY OF DUNEDIN, AT THE APPLICANT'S EXPENSE, WILL REMOVE/RELOCATE ANY/ALL WATER METERS.
- ALL ON-SITE ELECTRICAL AND COMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND.

UTILITY WARNING NOTE:

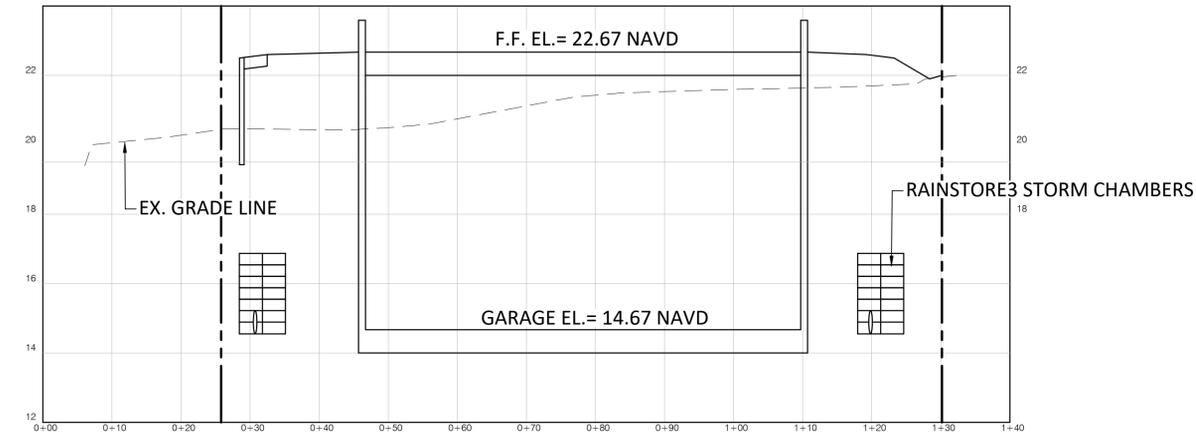
ABOVE GROUND OR UNDER GROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT. PROCEED WITH CAUTION-CALL "SUNSHINE STATE ONE" CALL SYSTEM AND THE UTILITY OWNERS) BEFORE BEGINNING WORK
 1-800-432-4770. (48 HOURS IN ADVANCE)





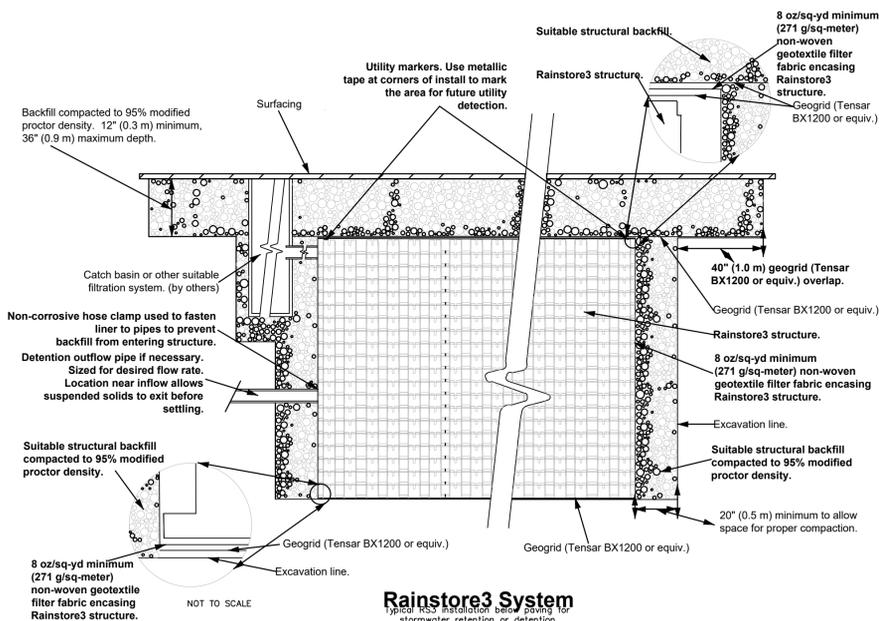
5-1 SECTION

SCALE: HORZ. = 1" = 10'
VERT. = 1" = 2"



5-2 SECTION

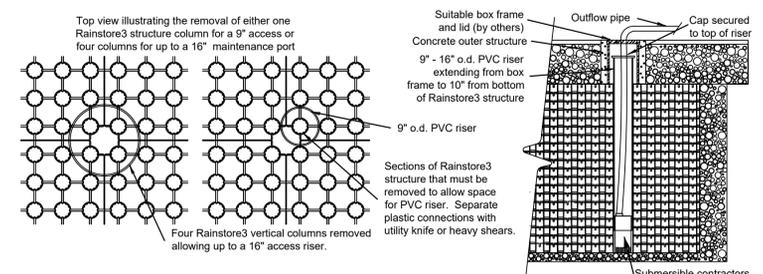
SCALE: HORZ. = 1" = 10'
VERT. = 1" = 2"



Rainstore3 System

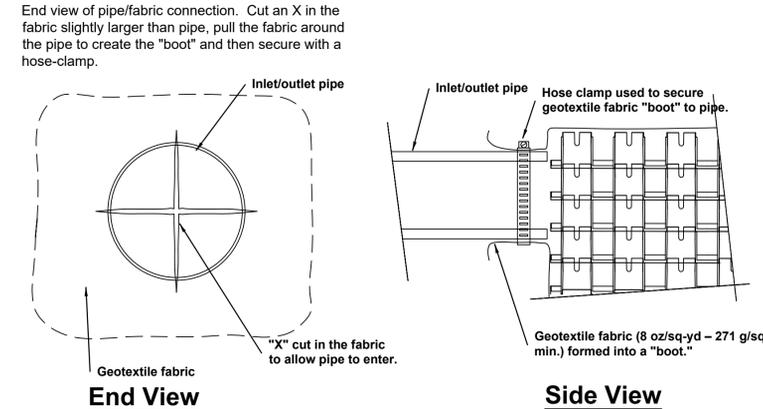
1600 Jackson Street, Suite 310
Golden, Colorado 80401
800-233-1510 FAX: 800-233-1522
www.invisiblenet.com
02/02

NOTE:
PLEASE REFER TO GEOTECHNICAL REPORT
FOR PLACEMENT OF SITE FILL MATERIAL,
COMPACTION AND TESTING REQUIREMENTS.



RS3 Maintenance Port

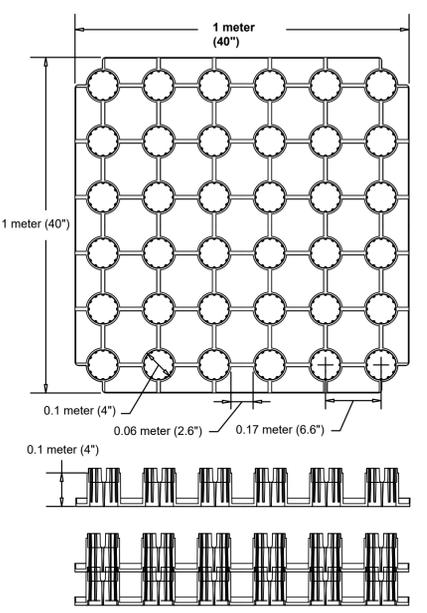
Method for providing inspection and cleanout access
1597 Cole Blvd., Suite 310
Golden, Colorado 80401
800-233-1510 FAX: 800-233-1522
www.invisiblenet.com 02/02



Rainstore3 Inlets/Outlets With Fabric

Connecting pipe to the Rainstore3 structure
1600 Jackson St., Suite 310
Golden, Colorado 80401
800-233-1510 FAX: 800-233-1522
www.invisiblenet.com 08/04

Rainstore3 Unit Dimensions



Rainstore3 Unit Detail

Single Rainstore3 injection molded unit geometry and dimensions
1597 Cole Blvd., Suite 310
Golden, Colorado 80401
800-233-1510 FAX: 800-233-1522
www.invisiblenet.com 02/02

- Consultants
- ARCHITECT**
SDG Architecture / Shorelines Design Group
330793 San Christopher Dr. Suite D
Dunedin, FL 34698
Ph: (727) 736-5463
email: rod@sdgff.com
- SURVEYOR**
Evans Land Surveying, Inc.
1460 Beltrees Street Unit 9
Dunedin, FL 34698
Ph: (727) 734-3821
email:
- LANDSCAPE ARCHITECT**
Copley Design Associates, Inc.
1275 US 19 North
Clearwater, Florida 33764
Ph: (727) 787-2840
email: copleydesign@gmail.com

Notes:

- NOT ISSUED FOR CONSTRUCTION**

MICHAEL J. PALMER STATE OF FLORIDA
PROFESSIONAL ENGINEER LICENSE NO. 63743
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED
BY MICHAEL J. PALMER, P.E.
USING A SHA-1 AUTHENTICATION CODE.
PRINTED COPIES OF THE DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE
MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Revisions:	By	Appd.	Date
▲ CITY OF DUNEDIN (DRC)	MJP	MJP	08-24-18
▲			
▲			
▲			
▲			
▲			
▲			
▲			

Submitted:	By	Appd.	Date
1)			
2)			
3)			
4)			
5)			
6)			

Seal: THESE PLANS MAY NOT BE COPIED AND/OR MODIFIED
WITHOUT WRITTEN PERMISSION FROM
SYNERGY CIVIL ENGINEERING, INC. © COPYRIGHT 2007.

MICHAEL J. PALMER, P.E. LIC. NO. 63743
NOT VALID UNLESS SIGNED & EMBOSSED
BY A REGISTERED ENGINEER
SYNERGY CIVIL ENGINEERING, INC.
CERTIFICATE OF AUTHORIZATION No. 27692

Project / Client:
Amera Court Developers, LLC
421 Grant Street
Dunedin, FL 34698-4976

Title

PROFILE & SECTIONS

Project No.	Scale:	Date:
05-026-016	AS NOTED	10-25-2017
Drawing No.	Sheet	Revision No.
C-07	7 of 14	0



Know what's below.
Call before you dig.
48 HOURS
BEFORE YOU DIG

Site Data:

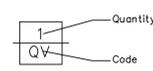
8 TREES OVER 15,000 S.F. PLUS ONE TREE PER 2,000 S.F. OVER 15,000 S.F.

SITE AREA = 19,291 S.F.
OPEN SPACE = 3,553 S.F.
LANDSCAPED AREA = 3,553 S.F.
PARKING AREA LANDSCAPED - UNDERGROUND PARKING

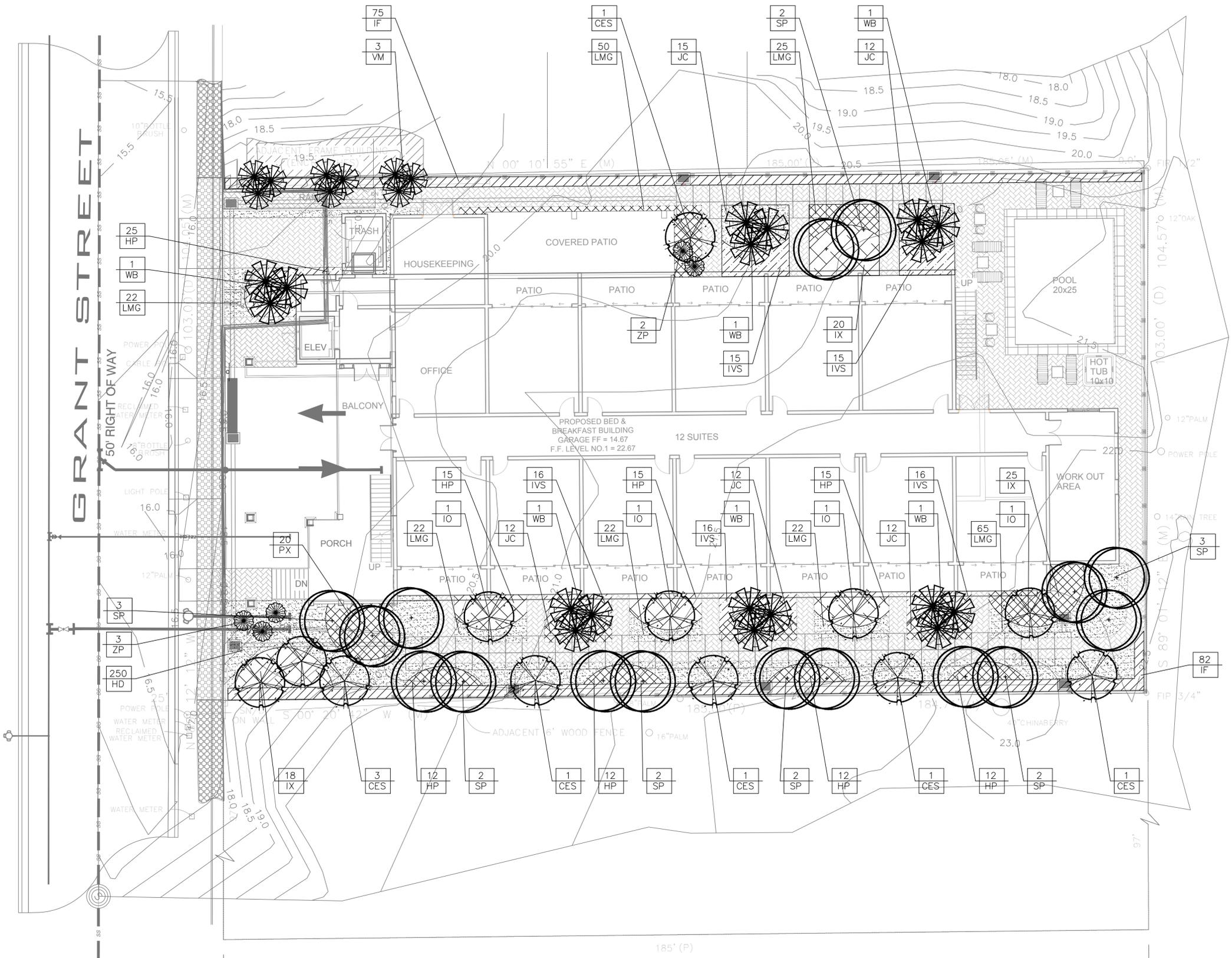
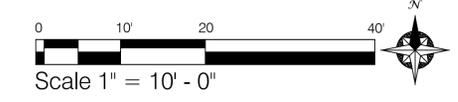
BUFFER WIDTH:
NORTH = 7'-8" LANDSCAPED AND WALKS
SOUTH = 20' LANDSCAPED AND WALKS
EAST = 7'-8" LANDSCAPED AND WALKS
WEST = 5' LANDSCAPED AND WALKS

PLANT KEY

Code	Common Name
TREES:	
CES	Silver Buttonwood
IO	Engelton Holly
SP	Cabbage Palm
VM	Vetelia Palm
WR	Foxtail Palm
SHRUBS: Minimum 3 gal. container	
F	Florida Anise
HP	Dwarf Firebush
VS	Dwarf Yaupon Holly
X	Xora
PX	Kanady Philadendron
ZP	Zeanite
GROUNDCOVER:	
JC	Blue Pacific Juniper
LMG	Emerald Giant
HD	Dune Sunflower



SEE SHEETS D-1 AND D-2 FOR NOTES AND DETAILS. SEE SHEET IR-1 FOR IRRIGATION LAYOUT PLAN



Landscape Development Plan

Dunedin Bed and Breakfast
418 Grant Street, Dunedin, Florida

copleydesign@gmail.com
www.copleydesign.org

COPLEY
DESIGN ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE

Clearwater, Florida
727 787-2840
Streetsboro, Ohio
330 474-7776

JOB NO. 18035

SHEET
LS - 1

Date	Revision	Description
08/03/18	1	ISSUE FOR PERMIT
08/07/18	2	DESIGN
08/14/18	3	CONTRACT 2018

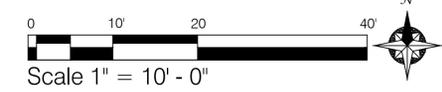
Robert D. Copley, Architect
Florida LA 001483



Issue Date	18/10/18	Project	Dunedin Bed and Breakfast
Revision	1	Design	18/10/18
Author	Robert D. Copley	Register No.	18000483
Designer	Robert D. Copley	Register No.	18000483

Site Data:
 8 TREES OVER 15,000 S.F. PLUS ONE TREE PER 2,000 S.F. OVER 15,000 S.F.
 SITE AREA = 19,291 S.F.
 OPEN SPACE = 3,553 S.F.
 LANDSCAPED AREA = 3,553 S.F.
 PARKING AREA LANDSCAPED - UNDERGROUND PARKING
 BUFFER WIDTH:
 NORTH = 7'-8" LANDSCAPED AND WALKS
 SOUTH = 20' LANDSCAPED AND WALKS
 EAST = 7'-8" LANDSCAPED AND WALKS
 WEST = 5' LANDSCAPED AND WALKS

SEE SHEETS D-1 AND D-2 FOR NOTES AND DETAILS. SEE SHEET IR-1 FOR IRRIGATION LAYOUT PLAN



NATIVE SPECIES REQUIREMENT:
 AT LEAST 50% (50%) MUST BE OF A NATIVE SPECIES.

PLANTS PROPOSED = 1,019
 NON-NATIVE SPECIES = 383 (38%)
 NATIVE SPECIES = 636 (62%)

NOTE: INSTALL ROOT BIO-BARRIER AROUND TREES WHERE ROOT AREAS ARE ADJACENT TO SIDEWALKS, CURBS, PAVEMENT AND UTILITIES. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL NEXT TO THE ADJACENT SIDEWALK, CURB, PAVEMENT AND/OR UTILITY ALLOWING MAXIMUM ROOTING AREA FOR THE TREE.

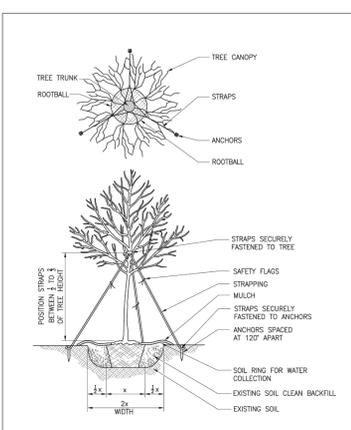
Quant.	Code	Botanical Name	Common Name	Specification	Native Drought Tol.
TREES:					
8	CES	Conocarpus erectus	Silver Buttonwood	8' ht., 2" cal.	Y Y
4	IO	Ilex x attenuata Eagleston	Eagleston Holly	8' ht., 2" cal.	Y Y
16	SP	Sabal palmetto	Cabbage Palm	8' c.t., minimum 15' o.h. ht.	Y Y
3	VM	Veitchia merillii	Veitchia Palm	8' ht., 3 stems	N Y
6	WB	Wodyetia bifurcata	Foxtail Palm	12' ht., 3 stems	N Y
SHRUBS: Minimum 3 gal. container					
157	IF	Illicium floridanum	Florida Anise	3 gal., 18" ht. x 18" spr.	Y Y
118	HP	Hamelia patens	Dwarf Firebush	3 gal., 18" ht. x 18" spr.	Y Y
78	IVS	Ilex vomitoria shillings	Dwarf Yaupon Holly	3 gal., 18" ht. x 18" spr.	Y Y
63	IX	Ixora spp.	Ixora	3 gal., 18" ht. x 18" spr.	N Y
20	PX	Philodendron xanadu	Xanadu Philodendron	3 gal., 18" ht. x 18" spr.	N Y
5	ZP	Zamia pumila	Coontie	3 gal., 18" ht. x 18" spr.	Y Y
GROUND COVER:					
63	JC	Juniperus conferta	Blue Pacific Juniper	1 gal., 12" ht. x 12" spr.	N Y
228	LMG	Liriope muscari	Emerald Giant	1 gal., 12" ht. x 12" spr.	N Y
250	HD	Helianthus debilis	Dune Sunflower	1 gal., 6" ht. x 6" spr.	Y Y

Green Space Plan
Dunedin Bed and Breakfast
 418 Grant Street, Dunedin, Florida

copleydesign@gmail.com
 www.copleydesign.org
COPLEY
 DESIGN ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE

JOB NO. 18035

SHEET
LS - 2



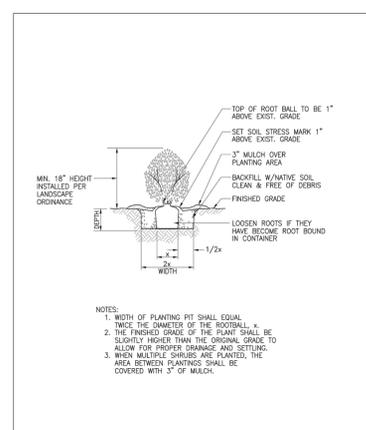
CITY OF DUNEDIN
DEPARTMENT OF
PUBLIC WORKS & UTILITIES

PLANTING &
LANDSCAPING DETAIL

APPROVED BY
Jesse K. Galt
DATE: 08.20.18

REVISIONS
DATE: 08.20.18

DRAWING NO.
79B
SHEET 2 OF 3



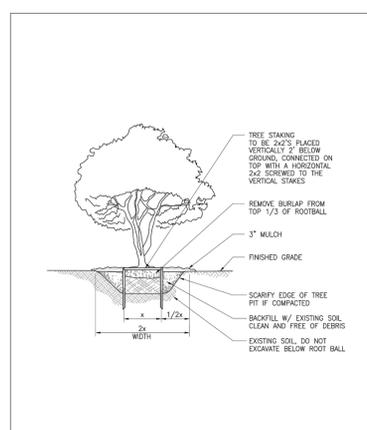
CITY OF DUNEDIN
DEPARTMENT OF
PUBLIC WORKS & UTILITIES

PLANTING &
LANDSCAPING DETAIL

APPROVED BY
Jesse K. Galt
DATE: 08.20.18

REVISIONS
DATE: 08.20.18

DRAWING NO.
79A
SHEET 1 OF 3



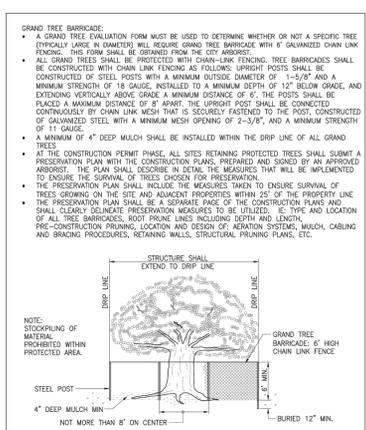
CITY OF DUNEDIN
DEPARTMENT OF
PUBLIC WORKS & UTILITIES

PLANTING &
LANDSCAPING DETAIL

APPROVED BY
Jesse K. Galt
DATE: 08.20.18

REVISIONS
DATE: 08.20.18

DRAWING NO.
79C
SHEET 3 OF 3



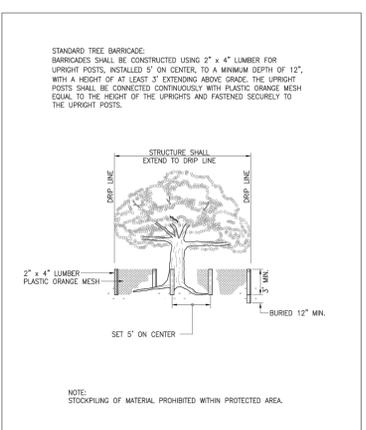
CITY OF DUNEDIN
DEPARTMENT OF
PUBLIC WORKS & UTILITIES

PROTECTIVE BARRIERS FOR GRAND
TREES DURING CONSTRUCTION DETAIL

APPROVED BY
Jesse K. Galt
DATE: 08.20.18

REVISIONS
DATE: 08.20.18

DRAWING NO.
81
SHEET 1 OF 1



CITY OF DUNEDIN
DEPARTMENT OF
PUBLIC WORKS & UTILITIES

PROTECTIVE BARRIERS FOR STANDARD
TREES DURING CONSTRUCTION DETAIL

APPROVED BY
Jesse K. Galt
DATE: 08.20.18

REVISIONS
DATE: 08.20.18

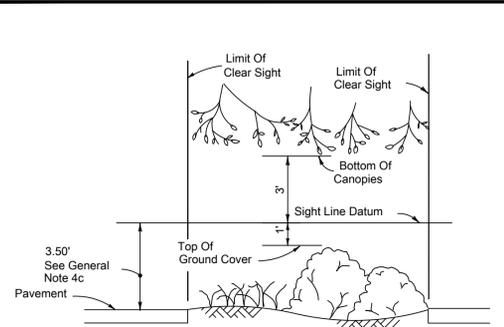
DRAWING NO.
80
SHEET 1 OF 1

REQUIRED SITE TREES

8 TREES OVER 15,000 S.F. PLUS ONE TREE PER 2,000 S.F. OVER 15,000 S.F.

SITE AREA = 19,290 S.F.
15,000 S.F. = 8 TREES
19,290 - 15,000 = 4,290
4,290 / 2,000 = 3 TREES
TOTAL TREES REQUIRED = 11 SITE TREES REQUIRED

TREES PROVIDED = 14
8 SILVER BUTTONWOOD (4 TREES 2:1)
4 EAGLESTON HOLLY (2 TREES 2:1)
16 CABBAGE PALM (8 TREES 2:1)



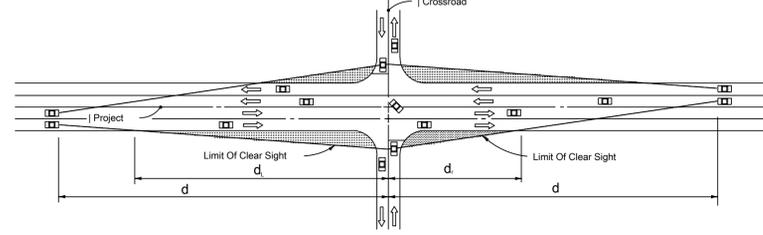
The Intent Of This Standard Is To Provide A Window With Vertical Limits Of Not Less Than 3' Above And 1' Below The Sight Line Datum, And Horizontal Limits Defined By The Limits Of Clear Sight.

PICTORIAL WINDOW DETAIL

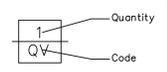
Design Speed	d	d ₁	d ₂
30	380	290	160
35	470	370	190
40	580	450	240
45	710	550	290
50	840	650	340
55	990	760	400
60	1150	890	460
65	1350	1040	540

SIGHT DISTANCE (d)
AND RELATED DISTANCES (d₁, d₂)
(FEET)

NOTE: ERECTING OR GROWING ANY OBSTRUCTION OVER THREE AND ONE HALF FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL BE PROHIBITED



PICTORIAL MULTILANE UNDIVIDED



PLANT MATERIALS SCHEDULE

Quant.	Code	Botanical Name	Common Name	Specification	Native	Drought Tol.
TREES:						
8	CES	Conocarpus erectus	Silver Buttonwood	8' ht., 2" cal.	Y	Y
4	IO	Ilex x attenuata Eagleston	Eagleston Holly	8' ht., 2" cal.	Y	Y
16	SP	Sabal palmetto	Cabbage Palm	8' c.t., minimum 15' o.h. ht.	Y	Y
3	VM	Veitchia merrillii	Veitchia Palm	8' ht., 3 stems	N	Y
6	WB	Wodyetia bifurcata	Foxtail Palm	12' ht., 3 stems	N	Y
SHRUBS: Minimum 3 gal. container						
157	IF	Illicium floridanum	Florida Anise	3 gal., 18" ht. x 18" spr.	Y	Y
118	HP	Hamelia patens	Dwarf Firebush	3 gal., 18" ht. x 18" spr.	Y	Y
78	IVS	Ilex vomitoria shillings	Dwarf Yaupon Holly	3 gal., 16" ht. x 16" spr.	Y	Y
63	IK	Ixora spp.	Ixora	3 gal., 18" ht. x 18" spr.	N	Y
20	PX	Philodendron xanadu	Xanadu Philodendron	3 gal., 18" ht. x 18" spr.	N	Y
5	ZP	Zamia pumila	Coontie	3 gal., 18" ht. x 18" spr.	Y	Y
GROUNDCOVER:						
63	JC	Juniperus conferta	Blue Pacific Juniper	1 gal., 12" ht. x 12" spr.	N	Y
228	LMG	Liriope muscari	Emerald Giant	1 gal., 12" ht. x 12" spr.	N	Y
250	HD	Helianthus debilis	Dune Sunflower	1 gal., 6" ht. x 6" spr.	Y	Y

NATIVE SPECIES REQUIREMENT:
AT LEAST 50% (50%) MUST BE OF A NATIVE SPECIES.

PLANTS PROPOSED = 1,019
NON-NATIVE SPECIES = 383 (38%)
NATIVE SPECIES = 636 (62%)

NOTE: INSTALL ROOT BIO-BARRIER AROUND TREES WHERE ROOT AREAS ARE ADJACENT TO SIDEWALKS, CURBS, PAVEMENT AND UTILITIES. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL NEXT TO THE ADJACENT SIDEWALK, CURB, PAVEMENT AND/OR UTILITY ALLOWING MAXIMUM ROOTING AREA FOR THE TREE.

SIGHT VISIBILITY TRIANGLES

Date	Revision	Description

Issue Date: 08/20/18
Scale: As Shown
Design: DC
Copyright: 2018

Richard D. Copley
Registered Landscape Architect
Pennsylvania License # 19418-R

General Notes and Details

Dunedin Bed and Breakfast
418 Grant Street, Dunedin, Florida

copleydesign@gmail.com
www.copleydesign.org

COPLLEY
DESIGN ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE

Clearwater, Florida
727-787-2840
Streetsboro, Ohio
330-474-7776

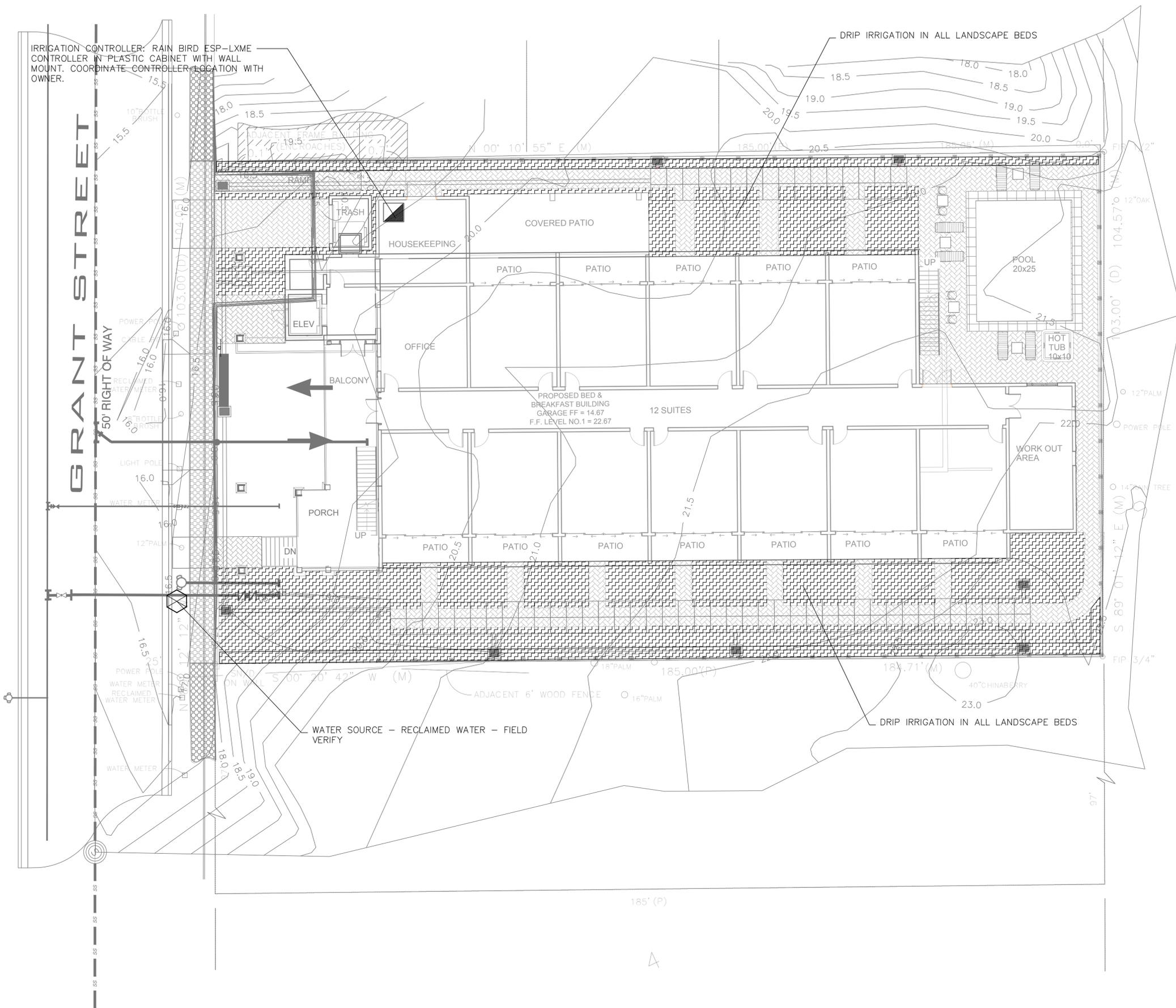
JOB NO. 18035

SHEET
LS - 4



Know what's below.
Call before you dig.
48 HOURS
BEFORE YOU DIG

IRRIGATION CONTROLLER: RAIN BIRD ESP-LXME
CONTROLLER IN PLASTIC CABINET WITH WALL
MOUNT. COORDINATE CONTROLLER LOCATION WITH
OWNER.



IRRIGATION LEGEND

Symbol	Specification
	Water Source - water tap - field verify
	Netafim Underground Drip Irrigation with pressure regulator and filter Emitter flow = .9 GPH Emitter spacing = 12" Techline spacing = 12" Burial depth = 4" Application Rate = 1.11"/hour INSTALL FILTER AND PRESSURE REGULATOR KIT
	Irrigation Controller: Rain Bird ESP-LXME controller in plastic cabinet with wall mount. Coordinate controller location with owner.

SEE SHEETS D-1 AND D-2 FOR NOTES AND DETAILS. SEE SHEET IR-1 FOR IRRIGATION LAYOUT PLAN



Issue Date	18/20/18	Issue Description	Design
Issue Date	11/22/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design
Issue Date	07/20/17	Issue Description	Design

Irrigation Development Plan
Dunedin Bed and Breakfast
418 Grant Street, Dunedin, Florida

copleydesign@gmail.com
www.copleydesign.org

COPLEY
DESIGN ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE

Clearwater, Florida
727.787.2840
Streetsboro, Ohio
330.474.7776

JOB NO. 18035

SHEET
IR - 1