

South Dunedin Character Overlay

Chronology – History – Events

How Did We Get Here?

2017 Visioning Exercises (comp plan update – vision corridors re-evaluation)

- Douglas Corridor Development Pressure

2019 Citizens' Survey

- Citizens' Feedback- Concerns for “over-development”; loss of “small town charm”

2019 HPAC's Feedback- Preservation of Historic Neighborhoods

- Concern for loss of historic homes/structures specific to overlay area

Chronology – History – Events

How Did We Get Here?

2019- South Dunedin Zoning Strategies Study (Kimley Horn)

- Neighborhood Meeting- July 23,2019
- Neighborhood Meeting- November 18, 2019

December 10, 2019 - Commission Workshop

- **Voluntary Rezoning (Block-by-Block)***
- Overlay District Consideration - Concern regarding multi-family zoning
- LDC Bulk and Scale Adjustments

***2020- Voluntary Rezoning Initiative**

President Street Block-by-Block Approach

Neighborhood Meetings

- *September 24, 2020*
- *December 8, 2020*

Chronology – History – Events

How Did We Get Here?

2021-Present: South Dunedin Character Overlay District

April 13, 2021 - City Commission Workshop (Pros and Cons of an Overlay)

October 5, 2021 - Stakeholder Workshop

October 28, 2021 - Public Meeting Workshop

February 1, 2022 - City Commission Workshop

February 15, 2022 - Public Meeting Workshop

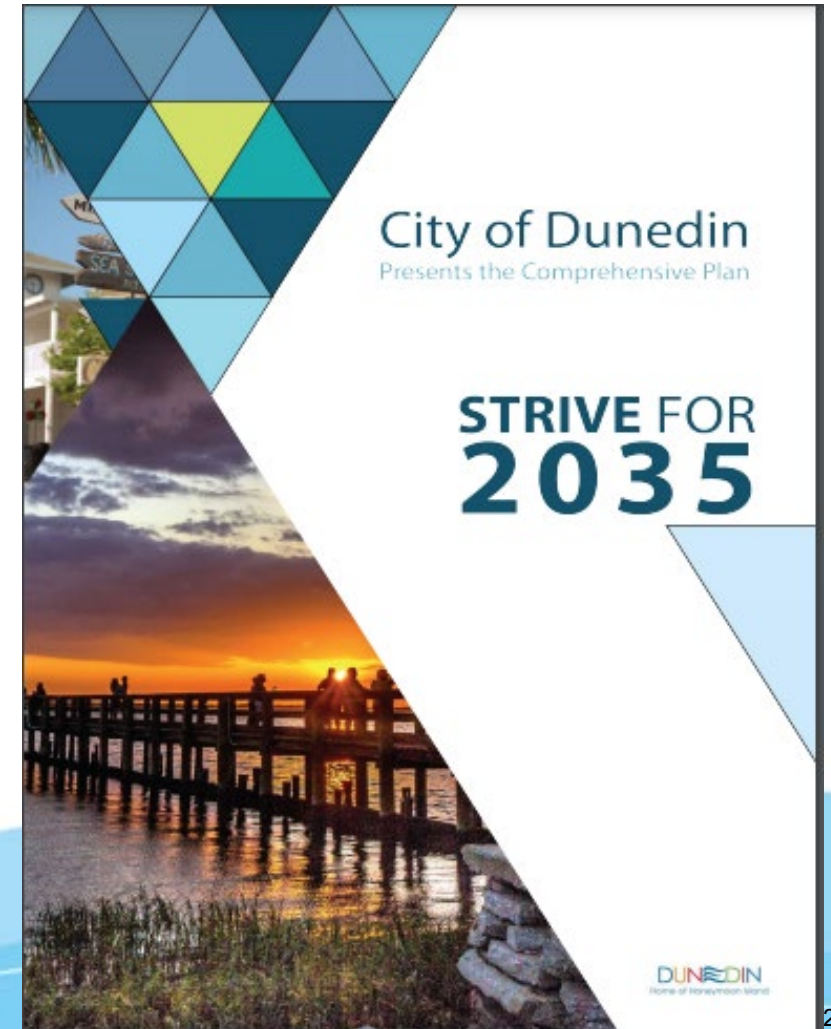
Lengthy citizen driven process

Comprehensive Plan - Compatibility -

OBJECTIVE 2.9:

Evaluate development and redevelopment for compatibility with the surrounding land and its uses. Development and redevelopment deemed not compatible will be denied. Compatibility shall be broadly defined to include physical dimensions, compatibility with surrounding properties, economic use compatibility, architectural compatibility with commercial areas and residential areas, and other matters that are relevant to the integration of the proposed development or redevelopment into the portion of the City which it is located.

Citizen driven 2017 Vision
Policy has always been there



Overlay Zoning Categories

MF-7.5

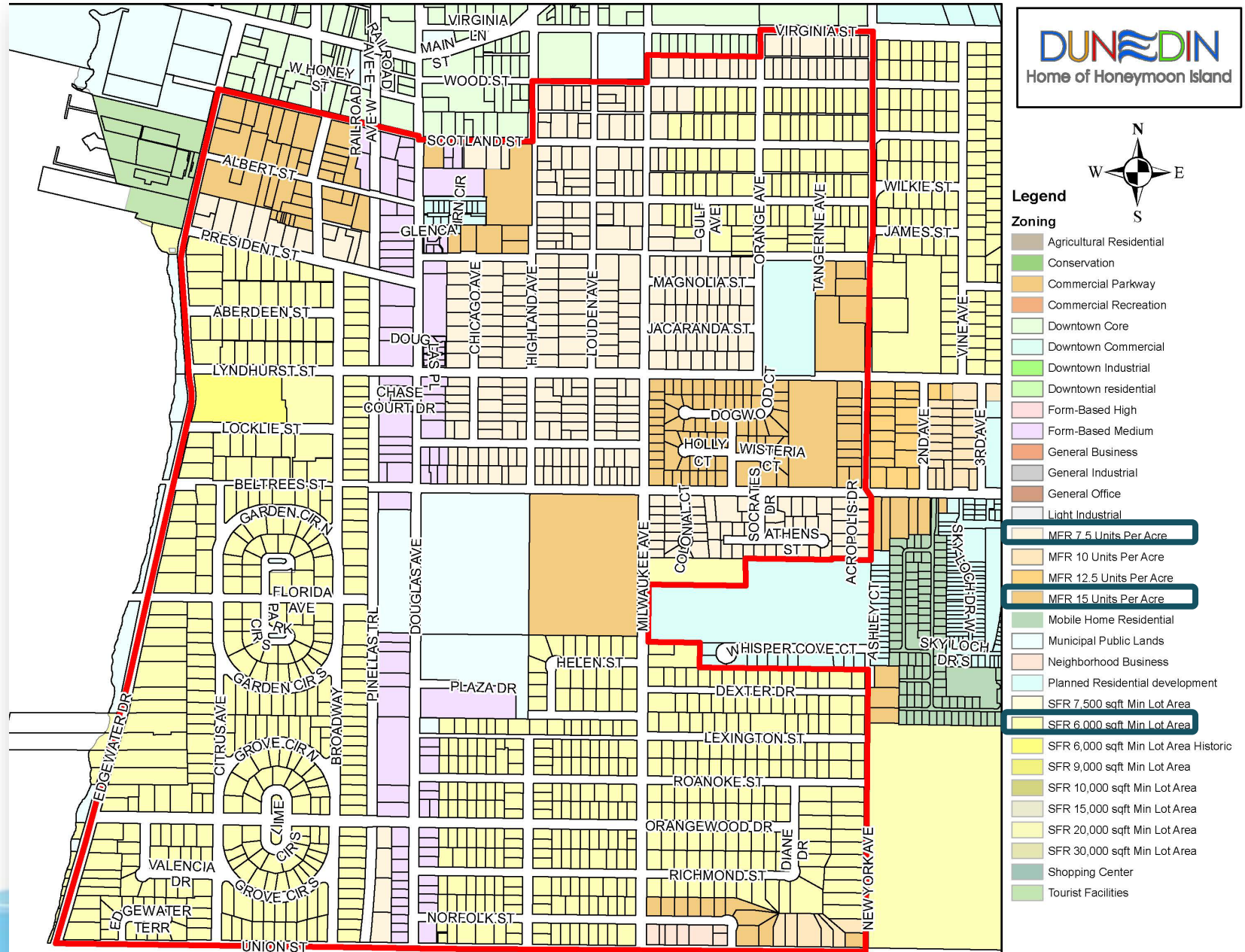
Multi-Family Residential
(7.5 Units/Acre)

MF-15

Multi-Family Residential
(15 Units/Acre)

R-60

Single Family Residential
(6,000 Sq. Ft. Min Lot Area)



Determining Entitlements

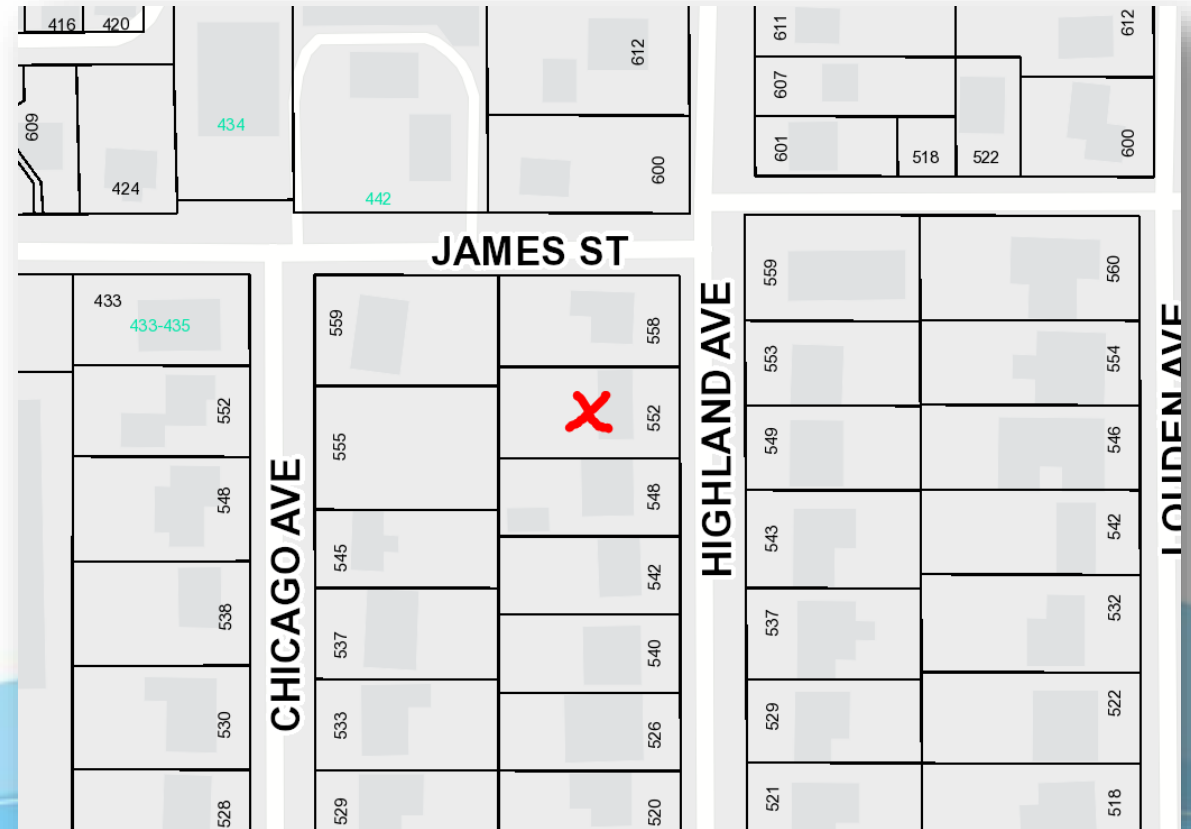
Land Use: How many units will my land support (Density)

Zoning: What are my permitted uses and what are my setbacks/height (Dimensional Standards)

Floodplain: Is my home in a floodplain and what is my elevation

Overlay: Additional Standards

Highland Avenue Example



Go to City Map and Enter Address

Developing How To Video

DUNEDIN
Home of Honeymoon Island

Services Live/Work/Play City Departments About Find it Fast...

City Departments » Community Development » Zoning Division »

Find Zoning Information

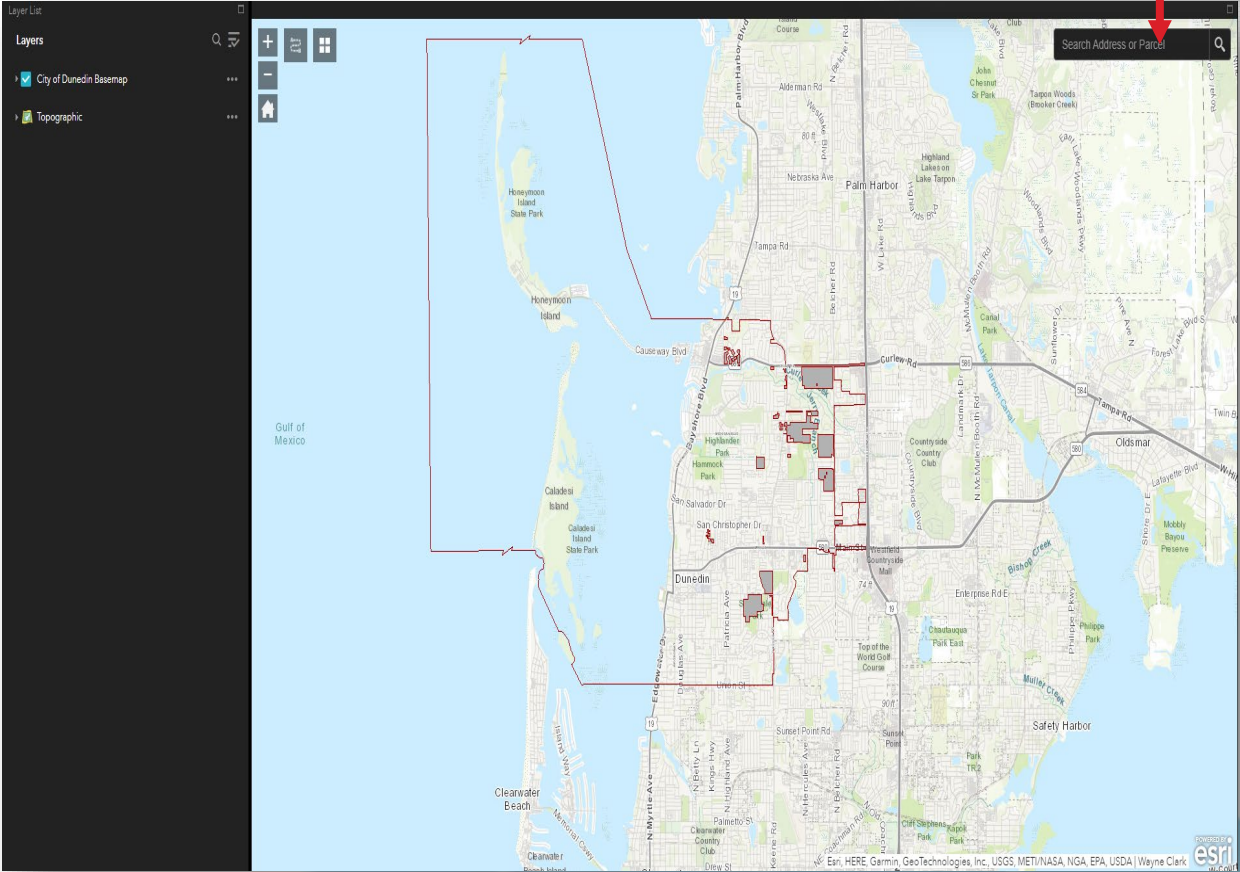
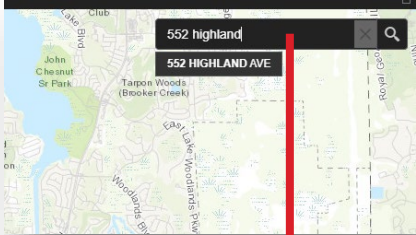
Font Size: + - + Share & Bookmark Feedback Print

Online Resources

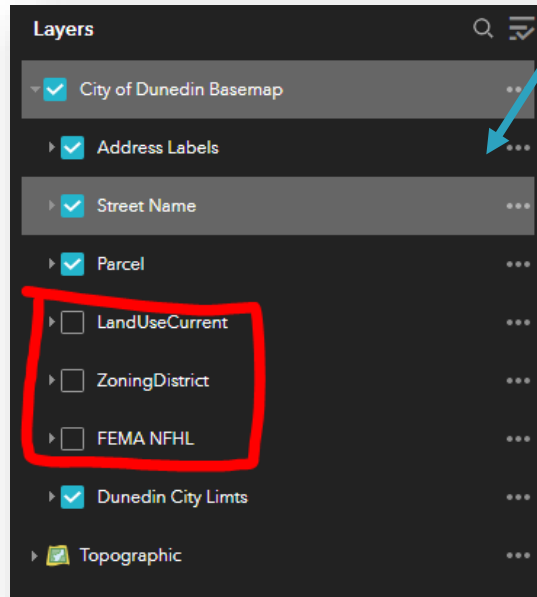
Use the following resources to find important zoning information about properties in Dunedin such as permitted uses, setbacks, building heights, land use and zoning designations, signs, storage sheds, and much more.

- [Zoning & Land Use GIS](#) - follow this link to search the City's GIS system to learn the zoning district designation, land use plan category and FEMA flood zone for all properties in Dunedin.
- [Zoning District Use Matrix](#) - follow this link to a table in the code that lists the permitted and conditional uses allowed in each zoning district in Dunedin.
- [Summary of Zoning Districts](#) - a summary of minimum lot sizes, minimum yard setbacks, maximum building height and stories for each zoning district.
- [Sample Sign Standards](#) - sample site plans that illustrate the allowable locations and heights of fencing for residential property.
- [Requirements for Storage Sheds](#) - a simple guide to the City's rules regarding storage and utility sheds.
- [Sign Regulations](#) - a link to the City's regulations for signs.

<https://www.dunedingov.com/city-departments/community-development/zoning-division/find-zoning-information>



Information Available



Legend provides detail on Land-Use, Zoning and Floodplain

Land-Use and Density

Layers

- City of Dunedin Basemap
- Address Labels
- Street Name
- Parcel
- LandUseCurrent
- ZoningDistrict
- FEMA NFHL
- Dunedin City Limits
- Topographic

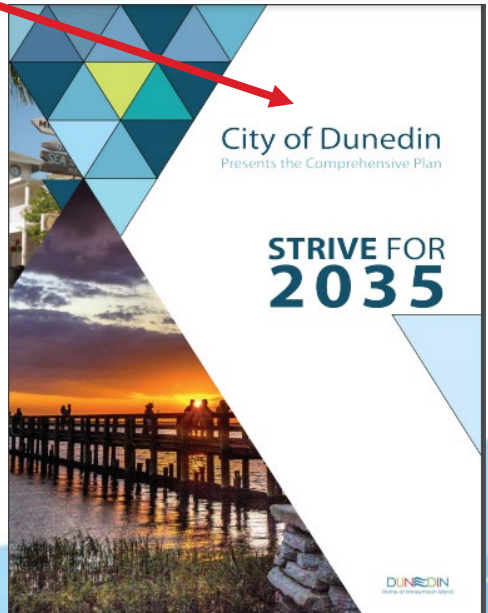
552 highland

Show search results for 552 highland

Address Line 1
Address Line 2
Owner
Address Line
Owner City: DUNEDIN
Owner State: FL
Owner Zip: 34698-7613
Owner Country
Ownership Updated: 12/7/2021
Parcel Acreage: 0.23
Latitude: 28.01
Longitude: -82.79

Zoom to

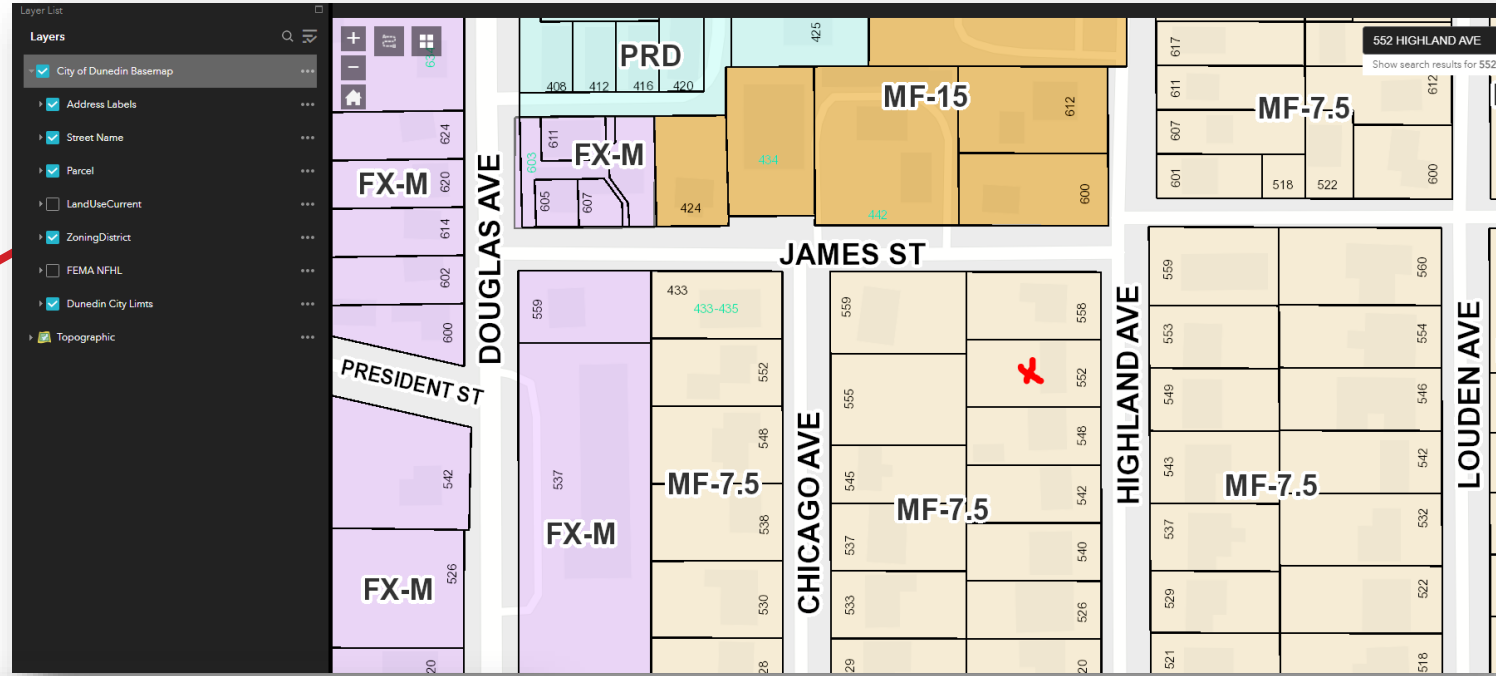
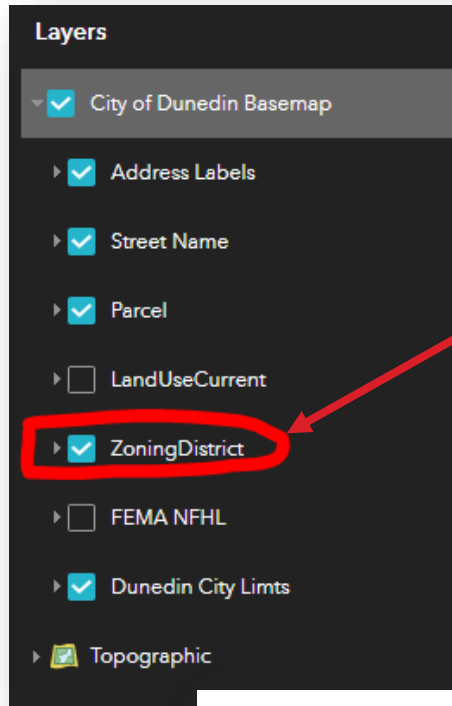
Residential Urban – RU
 .23 acres x 7.5 = 1.725 unit yield



City of Dunedin Land Use Designations/Locational Criteria and Permitted Uses	Maximum Density (dwelling unit/acre)	Intensity Floor Area Ratio (FAR)/ Impervious Surface Ratio (ISR)
<p>Residential Urban (RU) In areas removed from, but in close proximity to urban activity centers; in areas where use and development characteristics are urban residential in nature; and in areas serving as a transition between more suburban and more urban residential areas.</p> <p><u>Permitted Uses:</u> Primary- Residential Secondary- Residential Equivalent; Institutional; Public Educational Facility; Ancillary Non-Residential; Recreation/Open Space.</p>	7.5 du/a	0.40 FAR 0.65 ISR

Zoning

Permitted Uses
&
Dimensional
Standards



Information found
on Website and in
City Land
Development Code



TABLE 103-60.1 LAND DEVELOPMENT CODE USE

Note: Listed uses, which are permitted or conditional permit uses, must be allowed in the zoning district. "P" means Permitted Use "C" means Conditional Use "Z" means Prohibited Use

Zoning District	C	MP	AR	R-300	R-200	R-150	R-100	R-90	R-75	R-60	MF-7.5	MF-10	MF-12.5	MF-15	MF-
Residential															
Dwelling, single-family detached	-	-	P	P	P	P	P	P	P	P	P	P	P	P	-
Dwelling, two family (duplex)	-	-	-	-	-	-	-	-	C	C	P	P	P	P	-
Multifamily dwelling (condo, townhome, apartment)	-	-	-	-	-	-	-	-	C	C	P	P	P	P	-
Live-work unit	-	-	-	-	-	-	-	-	-	P	P	-	-	-	-
Manufactured / mobile home	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P
Group living home (6 or fewer residents / live-in care)	-	-	P	P	P	P	P	P	P	P	P	P	P	P	-
Community residential home (7 to 14 residents)	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-
Assisted living facility	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-
Congregate care facility	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-
Transient Use															
Bed-and-breakfast inn	-	-	-	-	-	-	-	-	-	-	C	C	C	C	-

Zoning	MF-7.5
Minimum Lot Area	7,000sf
Minimum Interior Lot Width	70'
Minimum Corner Lot Width	85'
Minimum Lot Depth	100'
Minimum Front Yard Setback	25'
Minimum Secondary Front Yard Setback	10'
Minimum Side Yard Setback - Single Family	7.5'
Minimum Side Yard - Other	10'
Minimum Rear Yard Setback	20'
Height Maximum	35'
Maximum Stories	3

Overlay Zoning Categories

Zoning	R-60
Minimum Lot Area	6,000sf
Minimum Interior Lot Width	60'
Minimum Corner Lot Width	77.5'
Minimum Lot Depth	100'
Minimum Front Yard Setback	25'
Minimum Secondary Front Yard Setback	10'
Minimum Side Yard Setback - Single Family	7.5'
Minimum Rear Yard Setback	20'
Height Maximum	27'
Maximum Stories	2

Overlay Zoning Categories

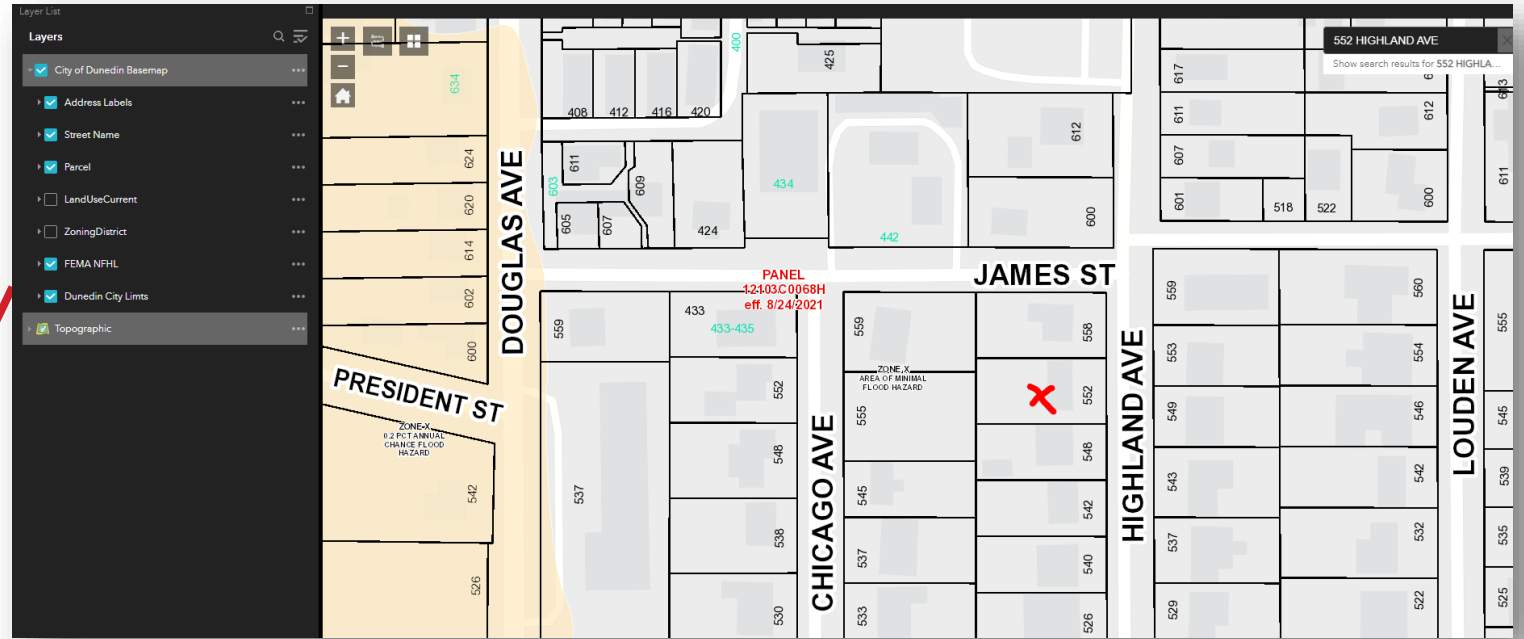
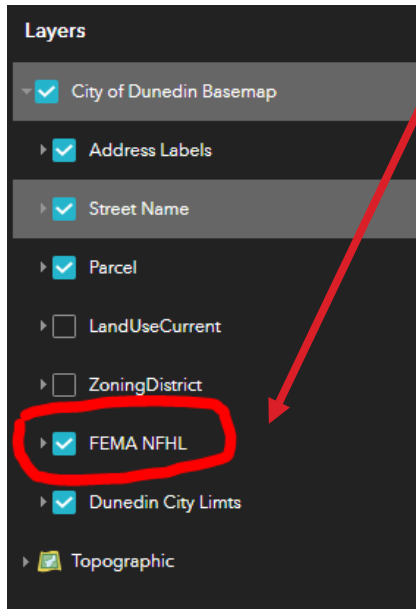
Zoning	MF-7.5
Minimum Lot Area	7,000sf
Minimum Interior Lot Width	70'
Minimum Corner Lot Width	85'
Minimum Lot Depth	100'
Minimum Front Yard Setback	25'
Minimum Secondary Front Yard Setback	10'
Minimum Side Yard Setback - Single Family	7.5'
Minimum Side Yard - Other	10'
Minimum Rear Yard Setback	20'
Height Maximum	35'
Maximum Stories	3

Zoning	MF-15
Minimum Lot Area	10,000sf
Minimum Interior Lot Width	70'
Minimum Corner Lot Width	85'
Minimum Lot Depth	100'
Minimum Front Yard Setback	25'
Minimum Secondary Front Yard Setback	10'
Minimum Side Yard Setback - Single Family	7.5'
Minimum Side Yard - Other	10'
Minimum Rear Yard Setback	20'
Height Maximum	50'
Maximum Stories	5

Floodplain

Federal Program

Lowest Habitable Floor Must be Elevated to BFE+1



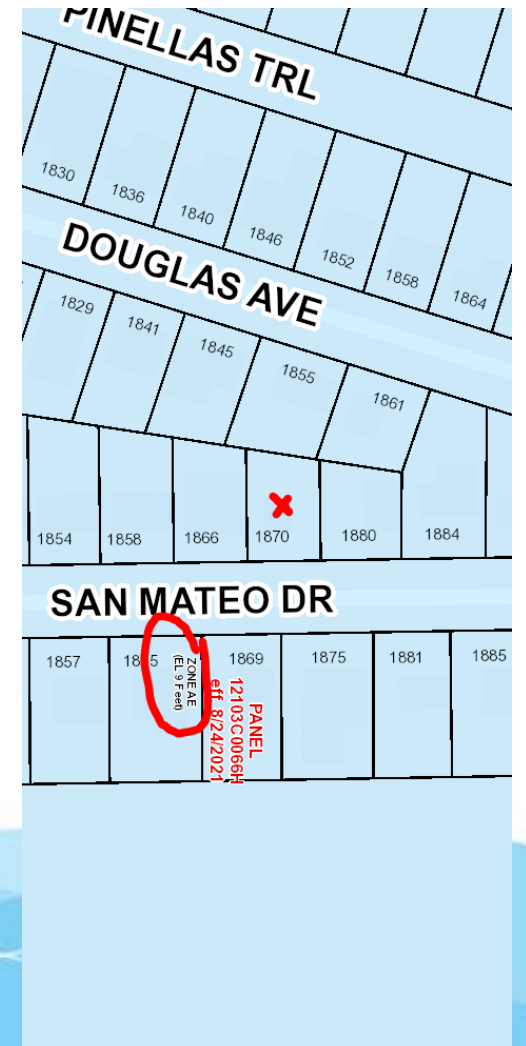
Floodplain

San Mateo Drive Example

MF Height measured from grade
 R-60 measured from Design Flood
 Elevation



**Lowest Habitable
 Floor Must be
 Elevated to BFE+1**



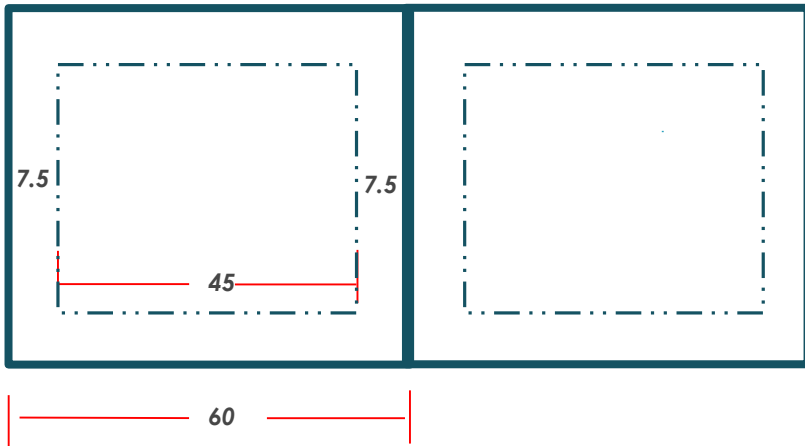
Overlay – 3 Changes

Architectural standards would be applicable (6 Styles)

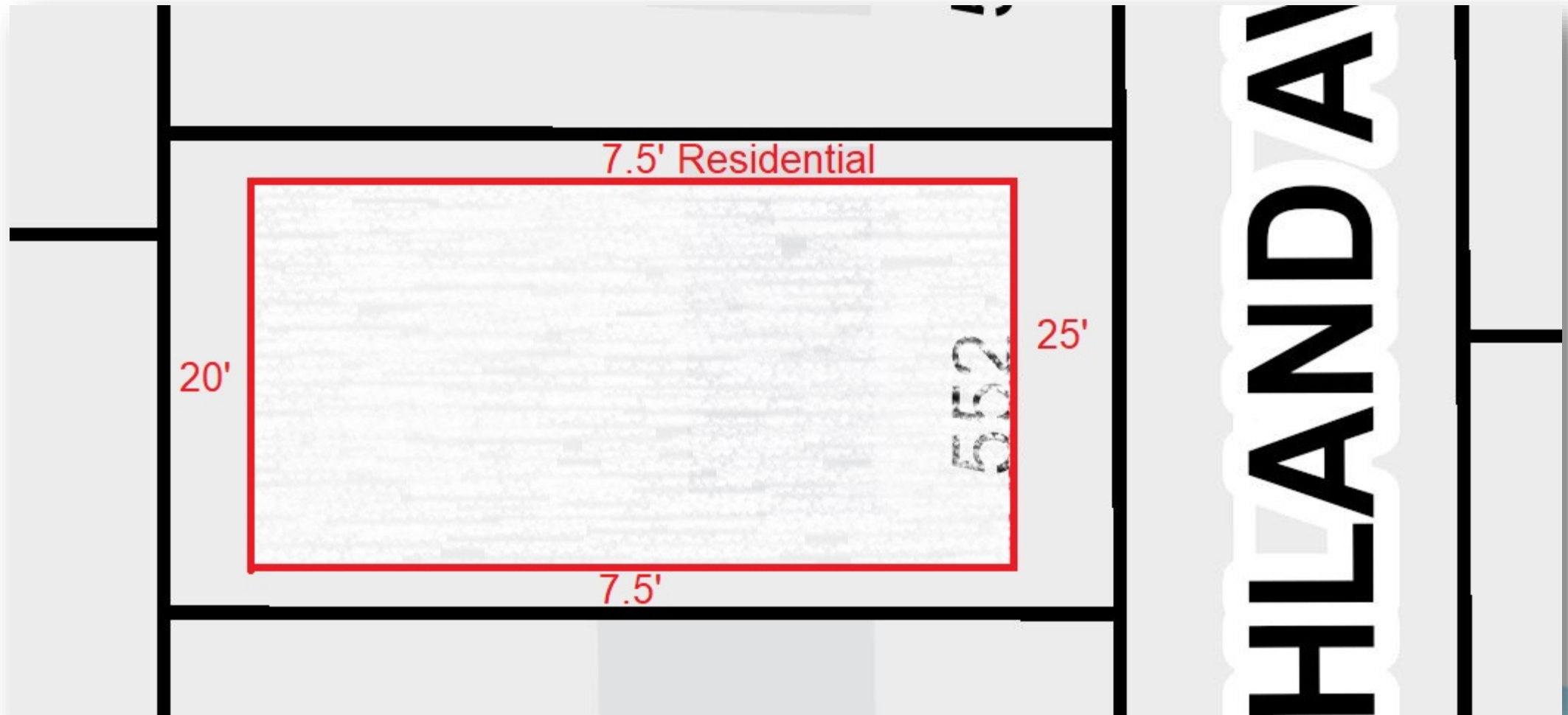
- *Incorporating Elements – Not dictating design*

Larger homes would be subject to public process and compatibility standards

Daylight Plane concept would be applied



Creating The Building Envelope



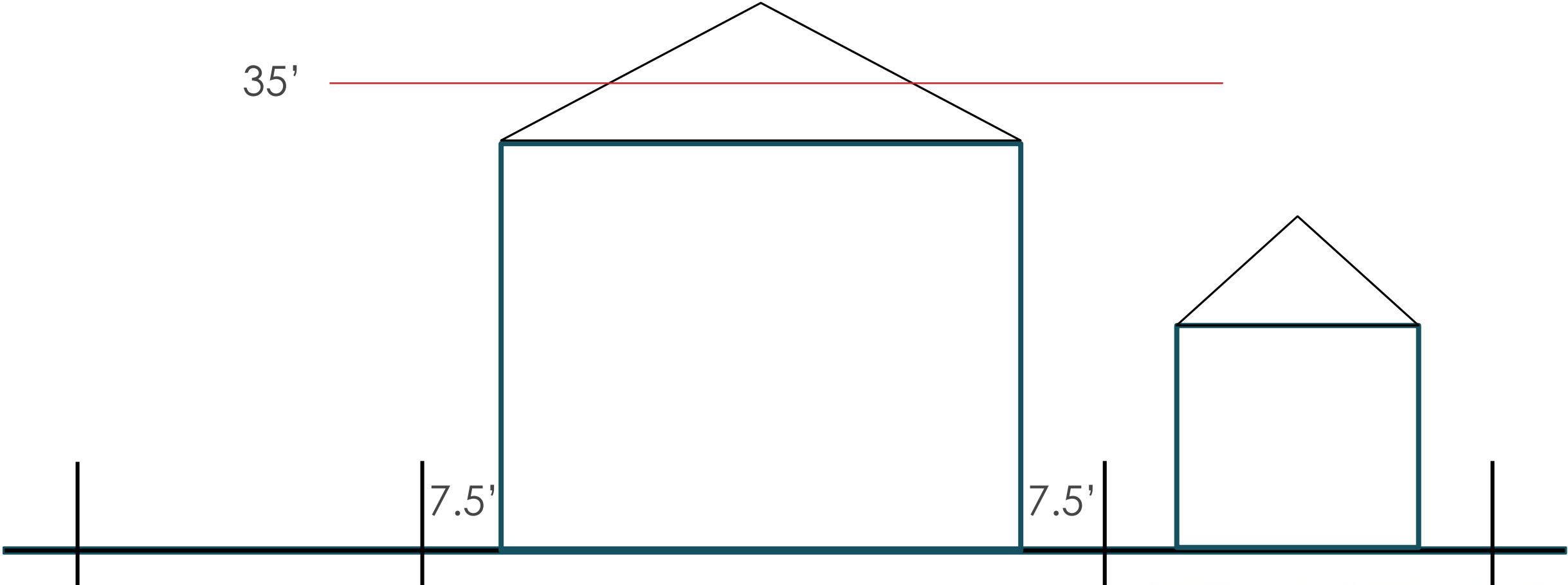
Daylight Plane

35'



7.5'

7.5'



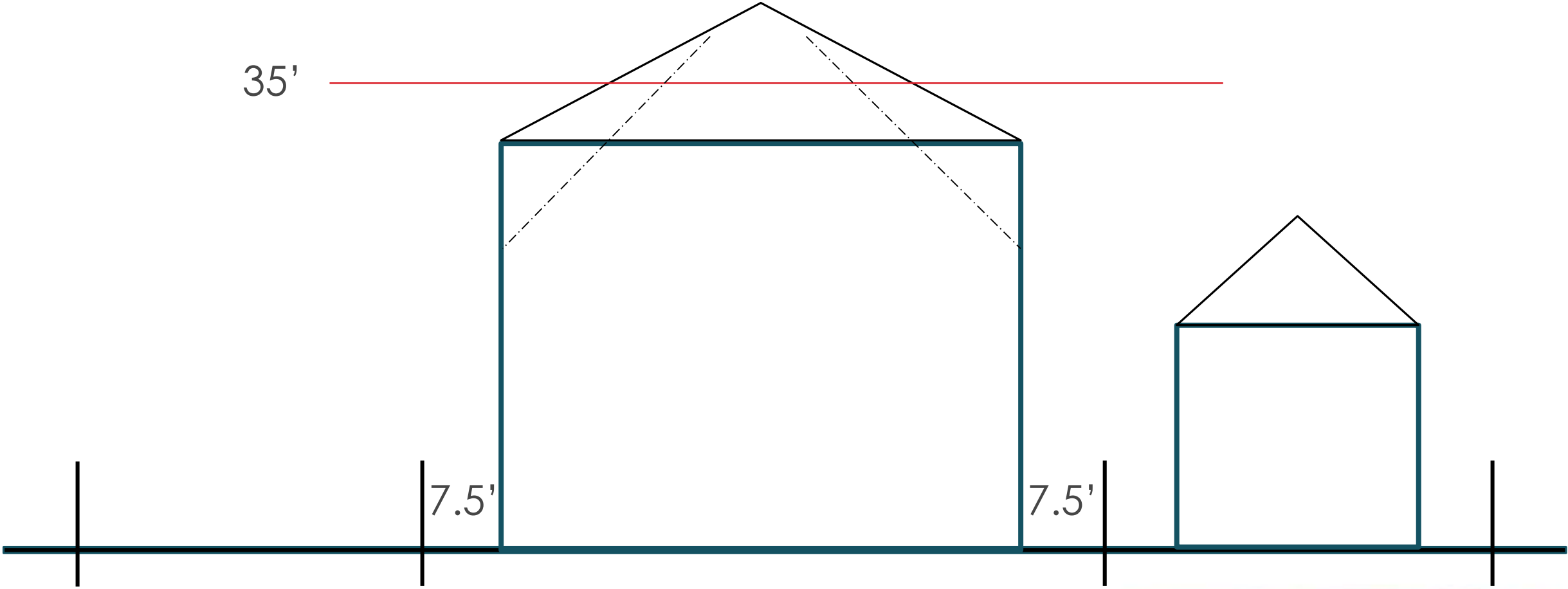
Daylight Plane

35'



7.5'

7.5'

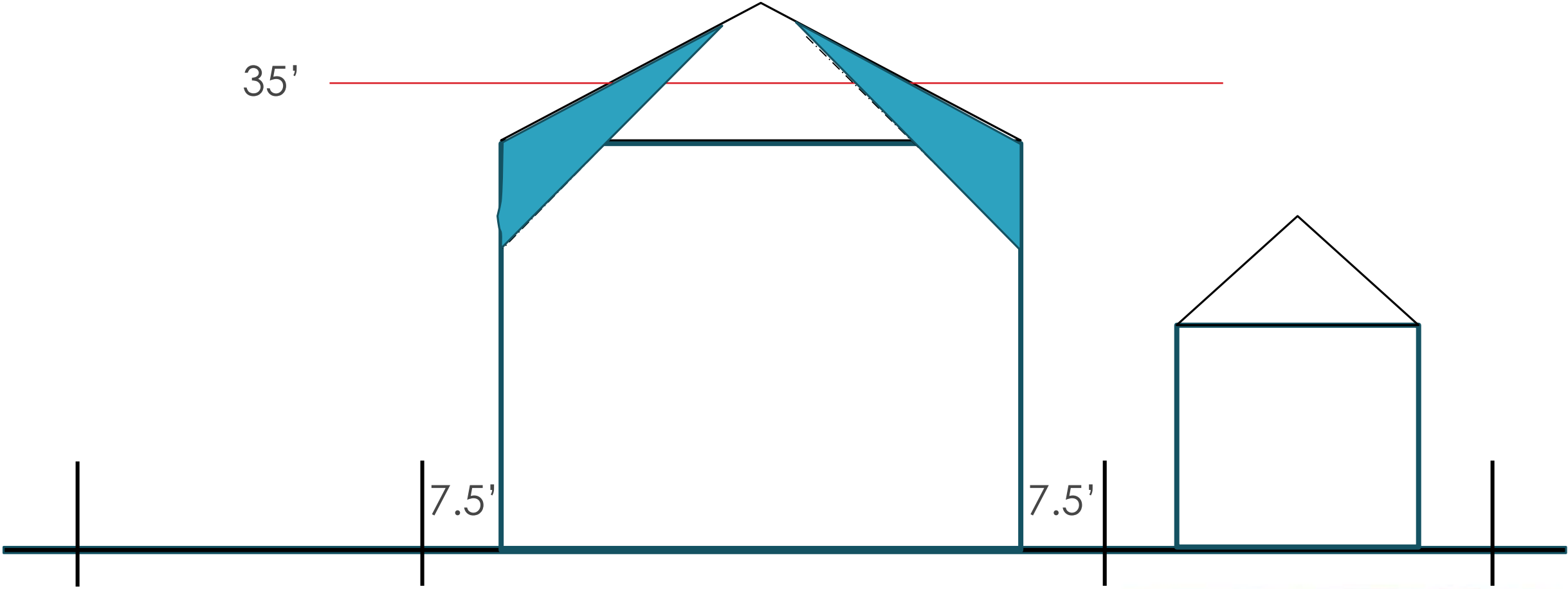


Daylight Plane

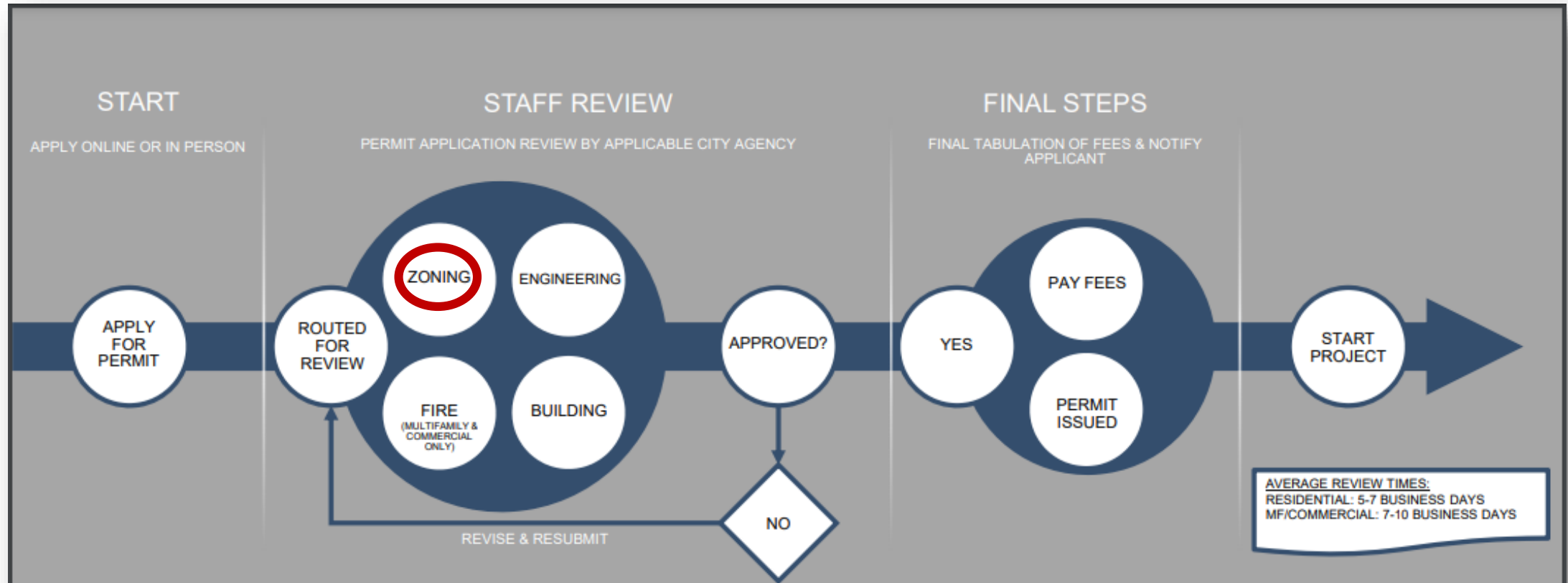
35'

7.5'

7.5'



Permit Review



PERMIT APPLICATION APPROVAL PROCESS

THIS FLOW CHART IS INTENDED TO ILLUSTRATE THE "TYPICAL" PROCESS WHICH CAN VARY BY APPLICATION